Appendix A
Site Photographs

Photo Log
Alternative 2 Site (Proposed Site)

Photo 1 – View of utility junction box near the intersection of Desire Parkway and Higgins Boulevard

Photo 2 – View of the northern portion of the proposed site and Higgins Boulevard, looking west

Photo 3 – View of the northern portion of the proposed site and Higgins Boulevard, looking east

Photo 4 – View of the northern portion of the proposed site and Higgins Boulevard, looking west

Photo 5 – View of the on-site sewer manhole

Photo 6 – View of the on-site sewer manhole and fire hydrant (right of the tree), looking northwest

Photo 7 – View looking south from the proposed project site at residences along Pleasure Street

Photo 8 – Looking south from the northeastern corner of the proposed site at Desire Parkway

Photo 9 – Looking south at the western boundary of the proposed project site and Piety Street

Photo 10 – Looking southeast from the northwest corner of the proposed site

Photo 11 – Looking southwest at the western boundary of the proposed project site and Piety Street

Photo 12 – Looking east at residential structures along Desire Parkway

Photo 13 – Looking north at the western boundary of the proposed project site and Piety Street

Photo 14 – Looking east at residential structures along Desire Parkway

Photo 15 – View of area of gravel on the proposed project site

Photo 16 – Looking north from the proposed project site at commercial structures along Higgins Boulevard

Photo 17 – Looking east at residential structures along Desire Parkway and areas of gravel on the proposed project site

Photo 18 – View of area of gravel on the proposed project site, looking west

Photo Log
Alternative 3 Site

Photo 19 – View of the northern, maintained, portion of the Alternative 3 property, looking east from Louisa Street

Photo 20 – View of debris on the south side of the Alternative 3 site, looking east

Photo 21 – View of overgrown vegetation on the south side of the Alternative 3 site

Photo 22 – View of paved areas on the south side of the Alternative 3 site, looking east

Photo 23 – View of paved areas and overgrown vegetation on the south side of the Alternative 3 site, looking east

Photo 24 – View of concrete structure on the south side of the Alternative 3 site

Photo 25 – View of paved areas and overgrown vegetation on the south side of the Alternative 3 site, looking southeast

Photo 26 – View of debris on the western portion of the south side of the site, looking west toward Louisa Street

Photo 27 – View of concrete structure on the south side of the Alternative 3 site

Photo 28 – View of concrete structure on the south side of the Alternative 3 site

Photo 29 – View of one of several similar structures on the south side of the Alternative 3 site

Photo 30 – View of one of several similar structures on the south side of the Alternative 3 site

Photo 31 – View of Piety Street, east of the Alternative 3 site, looking north

Photo 32 – View of Piety Street at the intersection with Florida Avenue, southeast of the Alternative 3 site, looking northeast

Photo 33 – View of of the overgrown vegetation on the south side of the Alternative 3 site

Photo 34 – View of of the debris and paved areas on the south side of the Alternative 3 site

Photo 35 – View of of the overgrown vegetation and paved areas on the south side of the Alternative 3 site

Photo 36 – View of of the overgrown vegetation, debris, and structures on the south side of the Alternative 3 site

Appendix B

Construction Plans

FLORIDA DESIRE MULTI-SERVICE CENTER

HIGGINS BOULEVARD, NEW ORLEANS LA 70126

OWNER:

THE CITY OF NEW ORLEANS

Architect:

Mathes Brierre
ARCHITECTS

201 St. Charles Ave., Suite 4100
New Orleans, LA 70170-4100
Voice (504) 586 9303 Fax (504) 582 1305
www.mathesbrierre.com

Structural and Civil Engineer:

JULIEN ENGINEERING & CONSULTING, INC.
2916 General DeGaulle Drive
Suite 200
New Orleans, LA 70114
(504) 366-3454

Mechanical Electrical Plumbing Engineer:

INFINITY ENGINEERING CONSULTANTS, LLC
4001 Division St.
Metairie, LA 70002
(504) 304-0548
www.infinityec.com

DESIGN DEVELOPMENT

DECEMBER 15, 2017 I MBA PROJECT NO. 11725

No.	Description	Date

Mathes Brierre
ARCHITECTS

FLORIDA DESIRE
MULTI-SERVICE CENTER

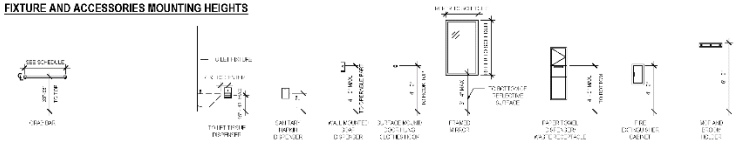
DESIGN DEVELOPMENT

Designer	Checker
Author	12/15/2017

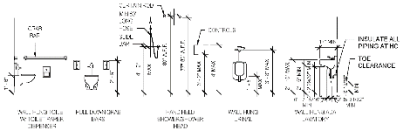
COVER SHEET

77250 G000

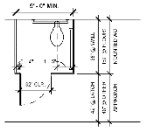
FIXTURE AND ACCESSORIES MOUNTING HEIGHTS



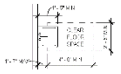
TOILET, SHOWER, URINAL & LAVATORY MOUNTING HEIGHTS



ACCESSIBLE TOILET & LAVATORY PLANS



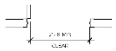
ACCESSIBLE STALL PLAN



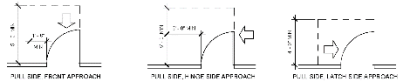
CLEAR FLOOR SPACE LAVATORY PLAN

DOORS

CLEARANCES FOR DOORS IN SERIES

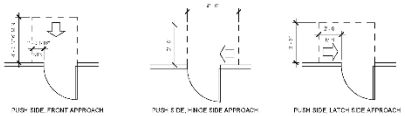


SWING DOOR CLEARANCES



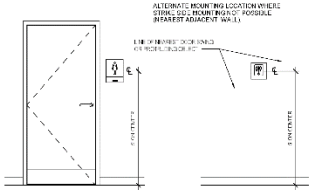
NOTE: ALL DOORS IN ALCOVES MUST COMPLY WITH THE CLEARANCES NOTED FOR FRONT APPROACHES

MANUEVERING CLEARANCES AT DOORS - OUTSWING DOORS



MANUEVERING CLEARANCES AT DOORS - INSWINGING DOORS

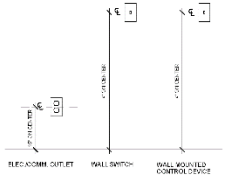
DOOR SIGNAGE (HEIGHT & LOCATION)



NOTE: MOUNTING LOCATION: STRIKE SIDE WHERE POSSIBLE

NOTE: A PERSON MUST BE ABLE TO APPROACH WITHIN 3" OF SIGN WITHOUT ENCOUNTERING ANY DOOR SWING OR PROTRUDING OBJECT

ELECTRICAL FIXTURES



DOOR THRESHOLD DETAIL

SEE SECTION 4.13 OF THE A.D.A. ACCESSIBILITY GUIDELINES FOR ADDITIONAL INFORMATION ON DOORS

1 G001 ADA DIAGRAMS
1/8" = 1'-0"

No.	Description	Date

Mathes Brierre ARCHITECTS

FLORIDA DESIRE MULTI-SERVICE CENTER

DESIGN DEVELOPMENT

Designer	Checker
Author	12/15/2017

ADA DIAGRAMS

77250 G001

GENERAL NOTES

1. CONTRACT DOCUMENTS ARE INCLUSIVE OF DRAWINGS AND PROJECT MANUAL AND ARE COMPLEMENTARY. WHAT IS REQUIRED BY ONE SHALL APPLY TO ALL WORK.
2. ALL MATERIALS AND WORK INCIDENTAL TO THE CONSTRUCTION OF THIS PROJECT SHALL CONFORM TO ALL GOVERNING CODES AND REGULATIONS OF AGENCIES IN AUTHORITY.
3. GENERAL CONTRACTOR SHALL VISIT SITE AND VERIFY ALL EXISTING CONDITIONS, DIMENSIONS DESCRIBED HEREIN AND NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCEMENT OF WORK.
4. GENERAL CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL PHASES OF THE WORK, INCLUDING N.I.C. ITEMS.
5. GENERAL CONTRACTOR SHALL MAINTAIN THE EXISTING SITE CONDITIONS. ANY DAMAGE TO THE EXISTING SITE SHALL BE REPAIRED BY THE GENERAL CONTRACTOR PRIOR TO COMPLETION OF THE JOB AND THE FINAL PAYMENT.
   GENERAL CONTRACTOR SHALL TAKE DIGITAL PHOTOS OF ALL EXISTING CONDITIONS, INCLUDING STREETS, CURBS, PAVING, DRIVEWAYS, SIDEWALKS, FENCE, GATES, TREES, ETC.
6. GENERAL CONTRACTOR SHALL SECURE THE SITE DURING CONSTRUCTION AND COORDINATE ANY REQUIRED CLOSURE OR PARTIAL CLOSURE OF PUBLIC WAYS.
7. GENERAL CONTRACTOR SHALL COORDINATE AND SCHEDULE ACCESS TO ADJACENT PROPERTY WHEN REQUIRED TO COMPLETE WORK IN CONJUNCTION WITH THE OWNER.
8. DRAWINGS SHALL NOT BE SCALED. USE DIMENSIONS ONLY. WHERE NO DIMENSIONS ARE SHOWN, CONSULT WITH ARCHITECT.
9. GENERAL CONTRACTOR SHALL VERIFY LOCATION OF ANY AND ALL UNDERGROUND OR HIDDEN UTILITIES PRIOR TO BEGINNING WORK. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
10. 3D SCHEMATIC RENDERINGS ON COVER SHEET AND THIS SHEET ARE ILLUSTRATIVE AND ARE NOT INTENDED FOR THE CONVEYANCE OF ANY CONTRACTUAL INFORMATION.

COORDINATION NOTES

1. IN THE EVENT A CONSTRUCTION DRAWING CONTAINS AN ITEM OR ITEMS REFERENCING ANOTHER DISCIPLINE'S DRAWINGS, SUCH AS 'REFER TO STRUCTURAL' OR 'SEE CIVIL', THE CONTRACTOR SHALL HAVE ALLOWED FOR THE PROVISION OF THAT ITEM WHETHER SHOWN OR INDICATED IN THE OTHER DISCIPLINE OR NOT.

   THIS SHALL APPLY BOTH TO ARCHITECTURAL DRAWINGS REFERENCING OTHER DISCIPLINES (LANDSCAPE, CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL ETC.) AND DRAWINGS OF OTHER DISCIPLINES REFERENCING ARCHITECTURAL DRAWINGS.

   IN THE EVENT THE ITEM REFERENCING OTHER DISCIPLINES IS DRAWN BUT NOT SPECIFICALLY NOTED HTERE OR ELSEWHERE, THE CONTRACTOR SHALL MAKE PROVISIONS OF HTE ITEM BASED ON THE DRAWN INFORMATION AND DIMENSION TO SCALE, BUT ONLY TO THE EXTENT OTHER SPECIFIC INFORMATION IS NOT PROVIDED.

   ALL ACCOMMODATIONS IN ADJACENT AND ACCESSORY WORK SHALL BE MADE TO PROVIDE FOR A COMPLETE INSTALLATION OF THE ITEM.

   IN CASE OF ANY DISCREPANCY WITH WORK OF OTHER DISCIPLINES, OR ONE DISCIPLINE TO ANOTHER, OR WITHIN THE WORK OF ANY DISCIPLINE, THE GREATER QUALITY OR QUANTITY OF WORK SHALL BE PROVIDED.

BUILDING INFORMATION

OWNER: THE CITY OF NEW ORLEANS

PROJECT ADDRESS: HIGGINS BOULEVARD
NEW ORLEANS, LA 70126

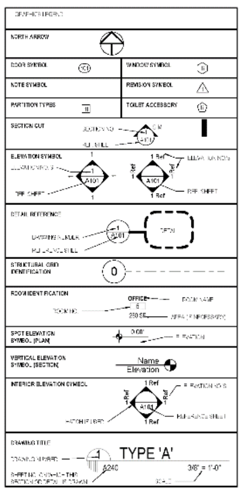
DESCRIPTION OF WORK: THIS COMMUNITY CENTER BUILDING IS A 1-STORY STRUCTURE WITH MEETING ROOMS, A CENTER HALL, WARMING KITCHEN, OFFICE SPACE, AND SUPPORTING MEP FUNCTIONS. TWO PARKING LOTS FLANK THE BUILDING. ADDING CURB CUTS AND NEW SIDEWALK TO THE PROPERTY.

ABBREVIATIONS

∠	ANGLE
℄	CENTERLINE
[	CHANNEL
⊥	PERPENDICULAR
PL	PLATE
Ø	ROUND
ABV	ABOVE
AFF	ABOVE FINISH FLOOR
ACS	ACCESS
ACC FL	ACCESS FLOOR
ACC PNL	ACCESS PANEL
ACOU	ACOUSTICAL
ADH	ADHESIVE
ADJ	ADJUSTABLE
AGG	AGGREGATE
A/C	AIR CONDITIONING
ALT	ALTERNATE
ALUM	ALUMINUM
ANOD	ANODIZED
ARCH	ARCHITECT (URAL)
AD	AREA DIVIDER
BRG	BEARING
BRG P	BEARING PLATE
BM	BENCH MARK
BLK	BLOCK
BLKG	BLOCKING
BD	BOARD
BLDG	BUILDING
B.O.S.	BOTTOM OF STEEL
BUR	BUILT-UP ROOFING
CAB	CABINET
CB	CATCH BASIN
CG	CORNER GUARD
CIP	CAST IN PLACE
CJ	CONTROL JOINT
CLG	CEILING
CLG HGT	CEILING HEIGHT
CLR	CLEAR (ANCE)
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT (S)
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONT	CONTRACT
CPT	CARPET
CORR	CORRUGATED
CTR	COUNTER
CTR FL	COUNTER FLASHING
CU FT	CUBIC FOOT (FEET)
CU YD	CUBIC YARD
CV	COVE
DEM	DEMOLISH OR DEMOLITION
DTL	DETAIL
DIAG	DIAGONAL
DIAM	DIAMETER
DIM	DIMENSION
DSPR	DISPENSER
DIV	DIVISION
DR	DOOR
DS	DOWNSPOUT
D	DRAIN
DWG	DRAWING (S)
ELEC	ELECTRIC
EWC	ELECTRIC WATER COOLER

EL	ELEVATION
ELEV	ELEVATOR
EMER	EMERGENCY
EQ	EQUAL
EQIP	EQUIPMENT
EXH	EXHAUST
EXIST	EXISTING
EXP BT	EXPANSION BOLT
EXP JT	EXPANSION JOINT
EJ	EXPANSION JOINT
EXT	EXTERIOR
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOM	FACE OF MASONRY
FOS	FACE OF STUD
FIN	FINISH (ED)
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FP	FIRE PROOF
FLR	FLOOR (ING)
FD	FLOOR DRAIN
FV	FIELD VERIFY
GA	GAGE, GAUGE
GALV	GALVANIZED
G.F.G.I.	GOVERNMENT FURNISHED/ GOVERNMENT INSTALLED (N.I.C.)
GI	GALVANIZED IRON
GYP BD	GYPSUM BOARD
HDW	HARDWARE
HDR	HEADER
HVAC	HEATING/VENNTILATION/ AIR CONDITIONING
HD	HEAVY DUTY
HGT	HEIGHT
HC	HOLLOW CORE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HB	HOSE BIB
HWH	HOT WATER HEATER
JT	JOINT
INCL	INCLUDE (D)(ING)
IC	INSIDE CLEAR
ID	INSIDE DIAMETER
INSUL	INSULATION
INT	INTERIOR
INTM	INTERMEDIATE
INV	INVERT
LBL	LABEL
LAM	LAMINATE
LAV	LAVATORY
LB	LOAD BEARING
LP	LOW POINT
MFR	MANUFACTURE (ER)
MTL	METAL
M.T.	METAL THRESHOLD
MAX	MAXIMUM
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MOV	MOVABLE
M.O.	MASONRY OPENING
MULL	MULLION
NRC	NOISE REDUCTION COEFFICIENT
NOM	NOMINAL

NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OPG	OPENING
OD	OUTSIDE DIAMETER
OHD	OVERHEAD DOOR
OA	OVERALL
OFD	OVERFLOW DRAIN
O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
PNT	PAINT (ED)
PNL	PANEL (ING)
PRTN	PARTITION
PVMT	PAVEMENT
PL LAM	PLASTIC LAMINATE
PL	PLATE
PLYWD	PLYWOOD
PR	PAIR
PT	PRESSURE TREATED
PVC	POLYVINYL CHLORIDE
PCF	POUNDS PER CUBIC FOOT
PFL	POUNDS PER LINEAL FOOT
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
QT	QUARRY TILE
R	RADIUS
RE	REFER TO
REF	REFERENCE
REFR	REFRIGERATOR
REINF	REINFORCE (D)(ING)
RES	RESILIENT
RD	ROOF DRAIN
RO	ROUGH OPENING
RP	ROPE PENETRATION
RSTRM	RESTROOM
SCH	SCHEDULE
SEC	SECTION
SHT	SHEET
SIM	SIMILAR
SC	SOLID CORE
SCUP	SCUPPER
SL	SLOPE
SP	SOUNDPROOF
SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL
ST STL	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STO	STORAGE
STR	STRUCTURAL
SUSP	SUSPENDED
SYM	SYMMETRY (ICAL)
SYN	SYNTHETIC
SYS	SYSTEM
TEL	TELEPHONE
T&G	TONGUE AND GROOVE
TEMP	TEMPERED
TK BD	TACKBOARD
THK	THICK (NESS)
TOL	TOLERANCE
T.O.S.	TOP OF STEEL
TSL	TOP OF SLAB
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
VRT	VINYL RESILIANT TILE
VWC	VINYL WALL COVERING
WP	WATERPROOFING
WWF	WELDED WIRE FABRIC



LEGEND - GRAPHICS
3/8" = 1'-0"

SHEET LIST

G000	COVER SHEET
G001	ADA DIAGRAMS
G002	INFORMATION SHEET
G003	RENDERING
A201	FLOOR PLAN - LEVEL 1
A230	ROOF PLAN
A270	REFLECTED CEILING PLAN
A301	EXTERIOR ELEVATIONS
A350	BUILDING SECTIONS
A702	FINISH AND MATERIAL SCHEDULE
A705	FLOOR FINISH PLAN
LANDSCAPE	
L101	REGIONAL SITE PLAN
L102	DETAIL SITE PLAN
CIVIL	
C001	CIVIL NOTES SHEET
C100	CIVIL SITE PLAN
C200	CIVIL PAVING PLAN
C300	CIVIL UTILITY PLAN
C400	CIVIL GRADING PLAN
STRUCTURAL	
S101	FOUNDATION PLAN
S102	SLAB PLAN
S103	FOUNDATION SECTIONS
S104	FOUNDATION SECTIONS
S201	LOW ROOF FRAMING PLAN
S301	ROOF FRAMING PLAN
S302	ROOF DECK PLAN
S401	FRAMING ELEVATIONS
S402	FRAMING ELEVATIONS
S403	FRAMING ELEVATIONS
S501	AXONOMETRICS
MECHANICAL	
M100	MECHANICAL GENERAL NOTES & SCHEDULES
M200	MECHANICAL FLOOR PLAN
M201	MECHANICAL ROOF PLAN
PLUMBING	
P100	PLUMBING GENERAL NOTES & SCHEDULES
P200	PLUMBING FLOOR PLAN
P201	PLUMBING ROOF PLAN
FIRE PROTECTION	
FP100	FIRE PROTECTION GENERAL NOTES
FP200	FIRE PROTECTION PLAN
ELECTRICAL	
E100	ELECTRICAL GENERAL NOTES & LEGENDS
E200	ELECTRICAL ONE-LINE DIAGRAM
E201	FIRE ALARM RISER DIAGRAM
E300	OVERALL SITE ELECTRICAL PLAN
E301	BUILDING ELECTRICAL PLAN
E302	BUILDING LIGHTING PLAN
E303	ELECTRICAL ROOF PLAN
E400	BUILDING SPECIAL SYSTEMS PLAN
E500	PANELBOARD SCHEDULE
E600	MISCELLANEOUS DETAILS
COMMUNICATION & TECHNOLOGY	
CT100	COMM & TECH GENERAL NOTES AND SYMBOL LEGEND
CT200	COMM & TECH RISER DIAGRAM
CT300	COMM & TECH FLOOR PLAN
CT400	COMM & TECH DETAILS
FIRE ALARM	
FA100	FIRE ALARM GENERAL NOTES AND SYMBOL LEGEND
FA200	FIRE ALARM PLAN RISER DIAGRAM
FA300	FIRE ALARM FLOOR PLAN

MATERIALS KEYING / GENERAL NOTES

No.	Description	Date

KEY PLAN

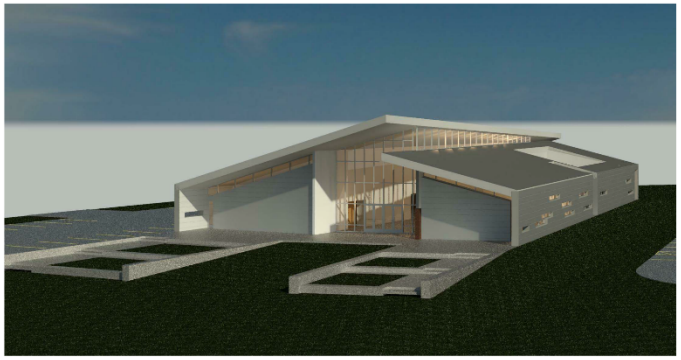
Mathes Brierre ARCHITECTS
201 St. Charles Avenue, Forty First Floor
New Orleans, Louisiana 70170-4100
Voice 504.586.9303, Fax 504.582.1305
architecture@mathesbrierre.com

PROJECT TITLE

FLORIDA DESIRE
MULTI-SERVICE CENTER

DESIGN DEVELOPMENT

DESIGNED BY: CH	CHECKED BY: TA
DRAWN BY: CH	DATE: 12/15/2017
SHEET TITLE: INFORMATION SHEET	
PROJECT NO.: 77250	SHEET NO.: G002



1 G003 RENDERING AT SOUTH FACADE
1/2" = 1'-0"

2 G003 RENDERING LOOKING SOUTH
1/2" = 1'-0"

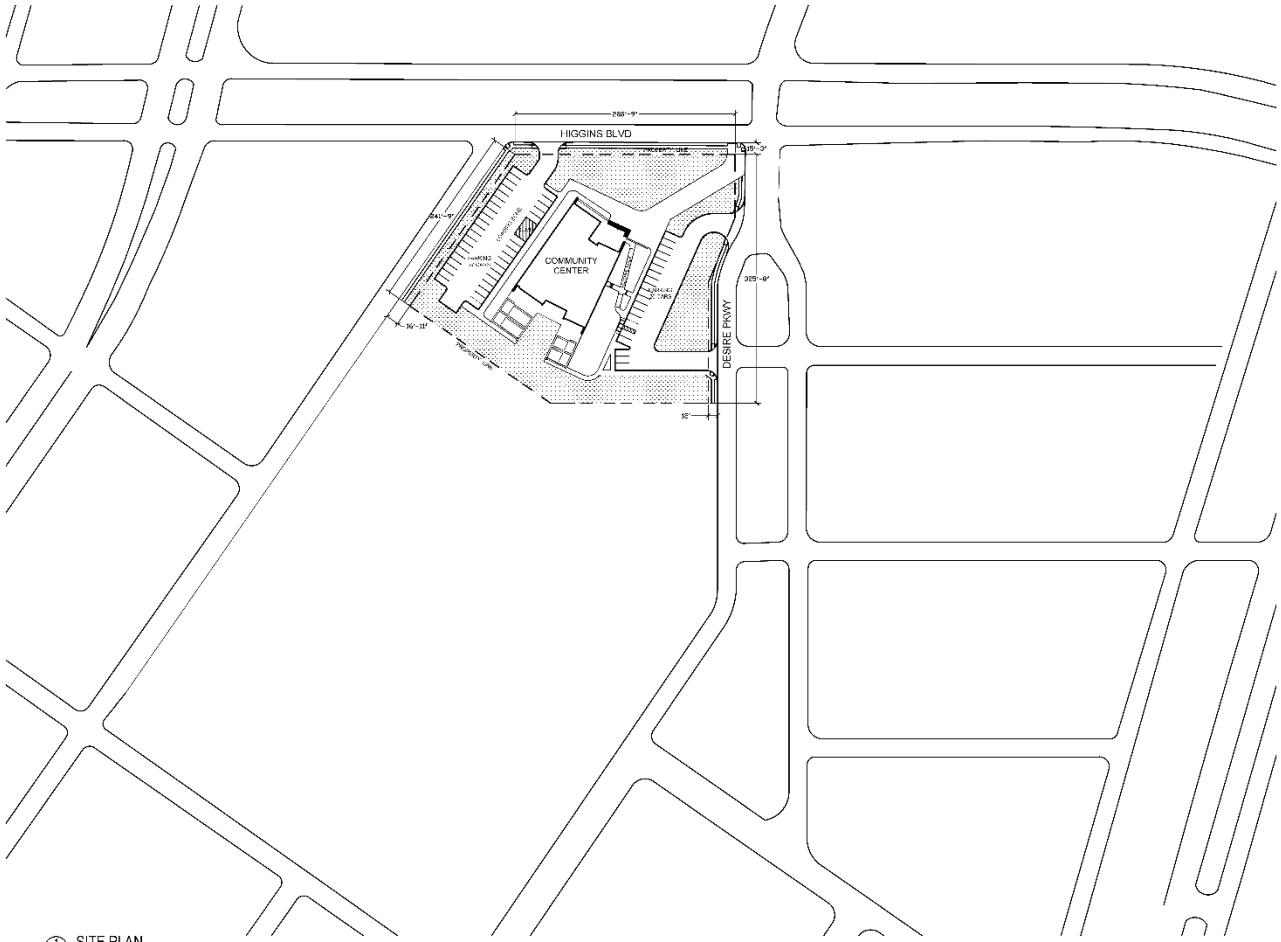
No.	Description	Date

Mathes Brierre
ARCHITECTS
201 St. Charles Avenue, Forty First Floor
New Orleans, Louisiana 70170-4100
Voice 504.586.8322 Fax 504.586.1065
architecture@mathesbrierre.com

PROJECT TITLE
FLORIDA DESIRE
MULTI-SERVICE CENTER

DESIGN DEVELOPMENT

DESIGNED BY: Designer	CHECKED BY: Checker
DRAWN BY: Author	DATE: 12/15/2017
SHEET TITLE: RENDERING	
TEST PARTS: 77250	SHEET NO.: G003



1 SITE PLAN
L101 1" = 60'-0"

MATRIX & REPRODUCTION RIGHTS

REVISIONS

No.	Description	Date

Mathes Brierre
ARCHITECTS
201 St. Charles Avenue, Twenty First Floor
New Orleans, Louisiana 70170-4000
Voice: 504. 581. 5065 Fax: 504. 581. 1135

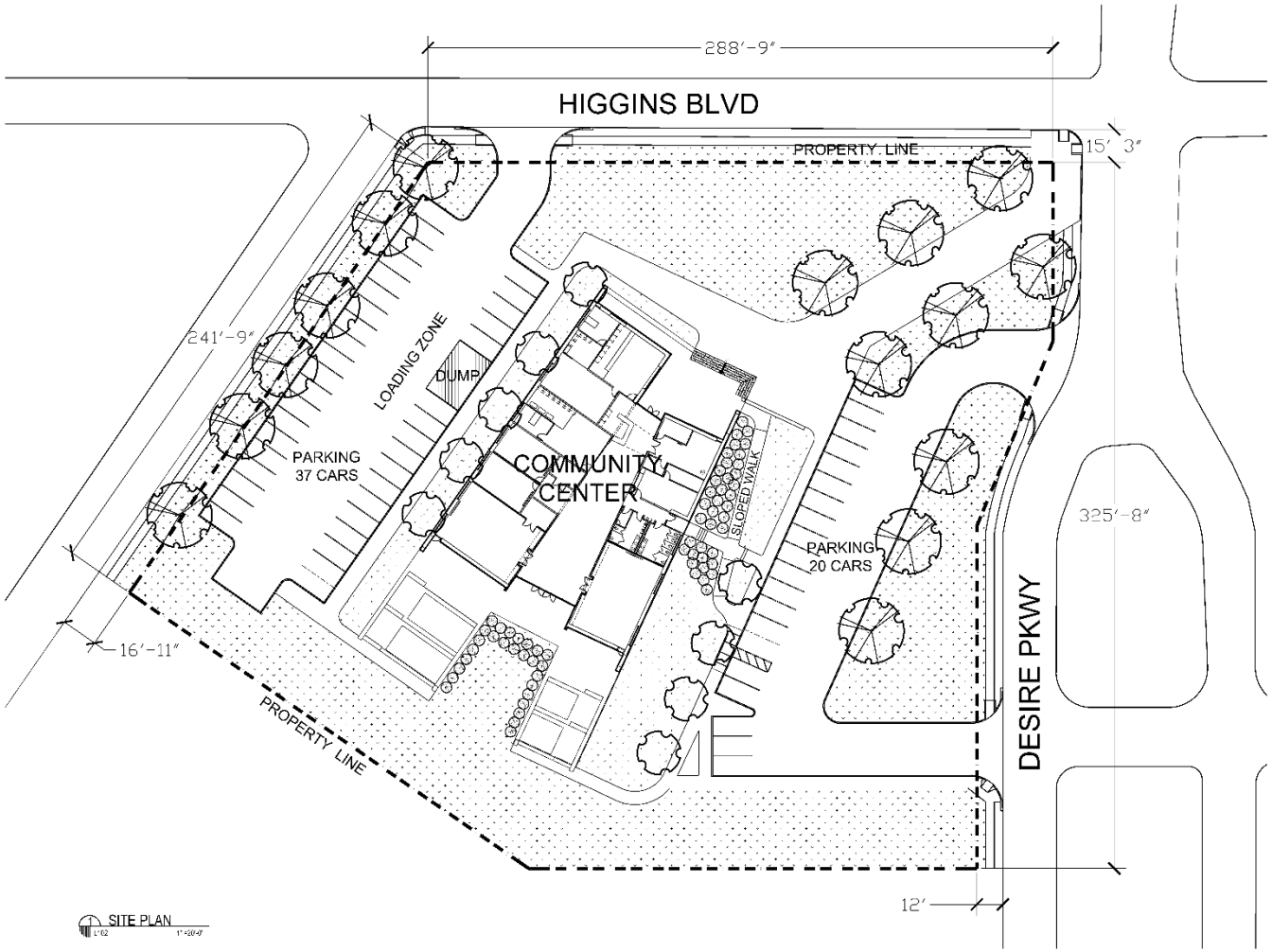
PROJECT TITLE

Florida / Desire
Community Center

DESIGNED BY	KAS	CHECKED BY	KAS
DRAWN BY	KAS	DATE	12-15-17

SHEET TITLE
REGIONAL SITE PLAN

PROJECT NO.	SHEET NO.
11725	L101



SITE PLAN
L102 1"=20'-0"

No.	Description	Date

Mathes Brierre
ARCHITECTS

PROJECT TITLE

Florida / Desire
Community Center

DESIGNED BY	KAS	DRAWN BY	KAS
DRAWN BY	KAS	DATE	12-14-17

SHEET TITLE
DETAIL SITE PLAN

PROJECT NO. 11725

SHEET NO. L102

SEE PROJECT SPECIFICATIONS FOR INFORMATION NOT PROVIDED HEREON OR ON THE DRAWINGS. IF ANY PROVISIONS IN THE DRAWINGS CONFLICT WITH PROVISIONS IN THE SPECIFICATIONS, THE STRICTEST PROVISION SHALL APPLY.

GENERAL UNDERSTANDING:

1. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR IS RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS APPLIES CONTINUOUSLY AND IS NOT LIMITED TO NORMAL WORKING HOURS. ALL NECESSARY PRECAUTIONS SHOULD BE TAKEN TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. IT IS NECESSARY TO COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
2. WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK, SHALL BE ADJUSTED OR REMOVED BY CONTRACTOR.
3. COORDINATE WITH OWNER'S REPRESENTATIVE TO GET APPROVAL FOR LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE.

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH ALL STATE AND LOCAL CODES AND REGULATIONS.
2. CONTRACTOR SHALL COMPLY WITH LA STATE FIRE MARSHAL LAWS, CODES, RULES AND REGULATIONS.
3. ALL MATERIALS, SUPPLIES, AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS OR PROJECT SPECIFICATIONS, WHICHEVER IS STRICTEST.
4. EGRESS SHALL BE PER STANDARD BUILDING CODE AND NFPA 101.
5. FIELD DETERMINE LOCATION AND INVERTS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
6. NO SMOKING IS ALLOWED ON THE SITE.
7. GROUND & FLOOR SURFACES SHALL BE SLIP RESISTANT UNDER ALL WEATHER CONDITIONS.
8. THRESHOLDS SHALL NOT BE MORE THAN 1/2" HEIGHT AND SHALL BE BEVELED IF OVER 1/4".
9. CONTRACTOR SHALL DESIGN, LAY OUT, INSTALL AND MAINTAIN ALL TEMPORARY SITE SURFACING WITHIN AND AROUND THE SITE NECESSARY FOR TRANSPORTATION ON AND OFF THE SITE AS WELL AS FOR STORAGE OF MATERIALS AND EQUIPMENT. SUCH TEMPORARY SURFACING SHALL BE REMOVED AND RECONSTRUCTED, AS NECESSARY, DURING THE COURSE OF CONSTRUCTION TO FACILITATE INSTALLATION OF PERMANENT WORK. IF THE CONTRACTOR ELECTS TO INCORPORATE TEMPORARY SURFACING SOMEHOW INTO PERMANENT WORK, AND UNKNOWN CONDITIONS ARISE THAT REQUIRE TEMPORARY SURFACING BE REMOVED AND INSTALLED, SUCH EXECUTION SHALL BE AT NO ADDITIONAL COST. INSTALLATION, REMOVAL AND RE-INSTALLATION OF TEMPORARY CONSTRUCTION SHALL BE INCLUDED IN THE BID AT NO ADDITIONAL COST. AT ALL TEMPORARY SURFACING AREAS THAT WILL BE USED FOR VEHICULAR TRAFFIC, AT MINIMUM, CONTRACTOR SHALL REMOVE EXISTING DEBRIS, VEGETATION AND SOFT MATERIAL, INSTALL GEOTEXTILE FABRIC, AND INSTALL AND COMPACT AT LEAST 8" OF CRUSHED STONE.
10. CONTRACTOR SHALL PROVIDE AND MAINTAIN PHYSICAL BARRICADES AND SIGNAGE AT ALL TIMES AT ALL OPEN EXCAVATIONS GREATER THAN 2 FEET IN DEPTH TO PREVENT INJURY TO PERSONS AND EQUIPMENT, AT NO ADDITIONAL COST.
11. CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY DRAINAGE IN AND AROUND THE PROJECT SITE AT NO COST TO THE OWNER. SUCH TEMPORARY MEASURES SHALL BE ACCOMPLISHED THROUGH THE USE OF SWALES, PIPES, AND PUMPS. TEMPORARY DRAINAGE SHALL BE PROVIDED SUCH THAT NO STANDING WATER STAYS ON THE SITE, OR IN ANY EXCAVATION OR DEPRESSION, AND IS FILTERED AND DIRECTED TO NEARBY OUTFLOW LOCATIONS. THIS INCLUDES STORM WATER, PROCESS WATER, LEAKING MAINS, ETC. PERMANENT DRAINAGE STRUCTURES (PIPES, MANHOLES, INLETS, CATCH BASINS, ETC) SHALL NOT BE USED FOR TEMPORARY DRAINAGE AND SHALL BE PROTECTED AT ALL TIME.
12. CONTRACTOR SHALL TAKE REASONABLE MEASURES TO AVOID UNNECESSARY DUST. SURFACES SUBJECT TO CREATING DUST SHALL BE KEPT MOIST WITH WATER OR BY APPLICATION OF CHEMICAL DUST SUPPRESSANT. DUSTY MATERIAL IN PILES OR IN TRANSIT SHALL BE COVERED TO PREVENT BLOWING.
13. CONTRACTOR SHALL CONTACT UTILITY COMPANIES AT LEAST THREE (3) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION AROUND THEIR RESPECTIVE UTILITIES.
14. PERMITS FROM THE DEPARTMENT OF PUBLIC WORKS ARE REQUIRED BEFORE ANY CONSTRUCTION STARTED ON THE CITY RIGHT OF WAYS. WORK ON SIDEWALKS AND STREETS SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY STANDARD DRAWINGS (STD-1 THRU STD-15) AND GEN. SPECIFICATIONS (LATEST EDITION).
15. CURB CUT PERMIT AND RESTORATION OF EXISTING CURBS: THE CONTRACTOR (OR DEVELOPER) MUST APPLY FOR A CURB CUT PERMIT FOR ANY NEW DRIVEWAY OR CURB CUT ON CITY RIGHT OF WAY. AT THE TIME OF CONSTRUCTION, ANY CURB CUTS IN FRONT OF COMMERCIAL PROPERTIES THAT ARE WIDER THAN 24 FEET MUST BE RESTORED TO 24 FEET OR LESS. EXISTING CURB CUTS THAT ARE NOT USED FOR DRIVEWAYS MUST BE REMOVED AND THE CURB AREA RESTORED ACCORDING TO CITY STANDARD DWGS. & SPECIFICATIONS.
16. SERVICE CUT PERMIT: THE CONTRACTOR (OR DEVELOPER) MUST OBTAIN A SERVICE CUT PERMIT BEFORE ANY EXCAVATION IN THE CITY RIGHT OF WAYS (SEE NOTE A ABOVE) AND NOTIFY THE DEPARTMENT OF PUBLIC WORKS MAINTENANCE DIVISION FOR UTILITY TIE-IN.
17. SIDEWALK AND ADA RAMPS: SIDEWALKS AND ADA RAMPS ARE TO BE IN COMPLIANCE WITH THE ADA FEDERAL REGULATIONS. THE CONTRACTOR (OR DEVELOPER) MUST COMPLETE SIDEWALK NOTIFICATION FORM WITH THE DEPARTMENT OF PUBLIC WORKS BEFORE THE CONSTRUCTION.
18. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT AND MAINTAIN TEMPORARY EROSION CONTROL FEATURES TO COMPLY WITH FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS CONTROLLING POLLUTION OF THE ENVIRONMENTAL. THIS WORK SHALL CONSIST OF PREPARATION OF EROSION CONTROL PLAN SHEET, THE SWPPP (STORM WATER POLLUTION PREVENTION PLAN), BEST MANAGEMENT PRACTICES (BMPS) IN ACCORDANCE WITH THE SEWERAGE AND WATER BOARD REQUIREMENTS TO PREVENT POLLUTION OF WATERS, WETLANDS AND POLLUTION OF THE ATMOSPHERE FROM PARTICULATE AND GASEOUS MATTER.

THE CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR FIELD LOCATING ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES REGARDLESS OF WHETHER OR NOT SHOWN IN THESE PLANS AND USE CARE.

LA One Call 811

ENGINEERING LAYOUT

1. ALL ELEVATIONS SHOWN ON THE PLANS ARE NAVD88 AND ARE BASED ON TOPOGRAPHIC SURVEY BY DUFRENE SURVEYING AND ENGINEERING, INC., DATED 2015, REVISED IN 2016.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE PROJECT TEMPORARY BENCHMARKS SHOWN ON SURVEY AND ESTABLISHING PERMANENT BENCHMARKS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE WORK AND VERIFYING ALL MEASUREMENTS AND GRADES PRIOR TO BEGINNING OF CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH PROJECT CONTROL LINES AND ADDITIONAL TEMPORARY BENCHMARKS FOR CONSTRUCTION PURPOSES BEFORE DESTROYING EXISTING MONUMENTS/NAILS/CROSS CUTS, ETC..
4. THE LINES AND GRADES SHOWN ON THE PLANS MAY BE VARIED SLIGHTLY BY THE ENGINEER IN THE FIELD IF CONDITIONS JUSTIFY SUCH A VARIATION. THE CONTRACTOR SHALL NOT BE ENTITLED TO AN EXTRA PAYMENT OTHER THAN WHATEVER INCREASE IN CONTRACT QUANTITIES IS INVOLVED.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ALL GRADES TO ASCERTAIN POSITIVE DRAINAGE TO THE NEAREST CATCH BASINS OR DROP INLETS WITHOUT PONDING WATER.
6. CONTRACTOR SHALL ESTABLISH AND MAINTAIN DEWATERING SERVICES (PUMPS) AND FEATURES (POND, DEPRESSIONS, CHANNELS, ETC.) TO ENSURE CONTINUOUS DRAINING OF SITE. THIS SHALL INCLUDE FILTERING MECHANISMS (HAY BALES, SCREENS, GEOTEXTILE ETC.) TO MITIGATE INTRUSION OF SUSPENDED SOLIDS INTO NEARBY DRAINAGE SYSTEMS.

ROADWAYS

1. ALL CONSTRUCTION IN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NEW ORLEANS GENERAL SPECIFICATIONS FOR STREET PAVING, CURRENT EDITION, AND THE CITY STANDARD DRAWINGS, AS WELL AS SEWERAGE AND WATER BOARD STANDARD PLANS.
2. ROADWAY AND DRIVEWAY RADII ARE MEASURED TO THE BACK OF CURB.
3. CONTRACTOR SHALL COMPACT AND SHAPE THE TOP OF SUBGRADE PRIOR TO PLACING GEOTEXTILE FABRIC AND/OR GEOGRID.
4. WHENEVER NEW PAVING INTERSECTS OR MEETS EXISTING PAVING THAT IS TO REMAIN, THE GRADES OF THE NEW PAVING SURFACE SHALL MATCH THE GRADE OF THE EXISTING PAVING.
5. WHENEVER REMOVAL OF EXISTING PAVEMENT SURFACING IS REQUIRED IN CONJUNCTION WITH PROPOSED GRADE SHOWN ON THE DRAWINGS, THE EXISTING ASPHALT CONCRETE PAVEMENT IMMEDIATELY ADJACENT TO THE EDGE OF THE CONCRETE GUTTER SHALL BE MILLED AND OVERLAID TO OBTAIN A SMOOTH TIE-IN BETWEEN EXISTING AND PROPOSED CONSTRUCTION.
6. WHENEVER ADDITIONAL PAVEMENT SURFACING MATERIAL IS REQUIRED, THE ADJACENT CONCRETE GUTTER BOTTOM SHALL NOT BE COVERED WITH ASPHALT SURFACING IF THE PROPOSED PROFILE GRADE SHOWN ON THE DRAWINGS IS WITHIN ONE (1") INCH. IN AREAS WHERE THE PROPOSED GRADE IS HIGHER THAN THE EXISTING GUTTER BOTTOM BY MORE THAN ONE (1") INCH, THE SURFACE OF THE EXISTING GUTTER BOTTOM OR ROLLING STRIP SHALL BE OVERLAID WITH ASPHALT SURFACING TO THE FACE OF THE CURB.
7. CONTRACTOR SHALL REMOVE ALL CULVERT PIPES IN DITCHES, METAL GRATES, AND ANY OTHER OBSTRUCTIONS THAT CONFLICTS WITH NEW WORK.

WATER MAINS

1. ALL WATERLINES LESS THAN 12" DIAMETER SHALL HAVE MINIMUN COVER OF 3 FEET. ALL WATERLINES 12" DIAMETER AND GREATER SHALL HAVE AT LEAST 4 FEET OF COVER.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR WATER METER INSTALLATION, INCLUDING MANHOLE, METER BOX, FREEZE PROTECTION, CHECK VALVES, TIE-INS, COORDINATION WITH SW&B, AND PERMIT FEES.
3. PRIOR TO FINAL ACCEPTANCE, ALL METER BOXES LOCATED WITHIN THE PROJECT LIMITS OF THIS PROJECT SHALL BE IN GOOD CONDITION, AT PROPER GRADE, PROPERLY ALIGNED AND CLEANED OF MUD AND DEBRIS. THERE WILL BE NO ADDITIONAL PAYMENT FOR REMOVAL OF MUD AND DEBRIS WITHIN A METER BOX OR VAULT THAT REQUIRES REPAIR, ADJUSTMENT OR REPLACEMENT.
4. ALL EXISTING VALVES NOT ENCLOSED IN MANHOLES SHALL HAVE NEW MANHOLES CONSTRUCTED AROUND VALVES.
5. ALL EXISTING VALVES AND FIRE HYDRANTS THAT ARE NOTED TO BE REMOVED OR ARE REPLACED SHALL HAVE FIRE HYDRANTS, VALVES CASTINGS AND COVERS REMOVED AND RETURNED TO THE OWNER.
6. ABANDONED WATER MAINS SHALL BE PLUGGED.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OFFSETTING REQUIRED WATER MAIN LINES TO AVOID ANY CONFLICTS WITH OTHER UTILITIES WITH OFFSET FITTINGS OR BY PERMISSIBLE DEFLECTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING REQUIRED TIES INTO EXISTING WATER MAINS.

UTILITIES

1. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES BEFORE STARTING CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE RESPECTIVE UTILITY COMPANIES FOR THE REMOVAL OR RELOCATION OF THE EXISTING UTILITIES WHICH INTERFERE WITH NEW WORK. ALL UTILITY RELOCATION COST SHALL BE BORNE BY THE CONTRACTOR.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES WHICH OCCURS DURING CONSTRUCTION AND SHALL IMMEDIATELY REPORT ANY DAMAGE TO THE UTILITY ENTITIES. ALL REPAIRS OF THE DAMAGED UTILITIES SHALL BE DONE BY THE RESPECTIVE UTILITY ENTITY, EXCEPT S&WB POWER FEEDER, WHICH SHALL BE REPAIRED BY THE CONTRACTOR. ALL REPAIR COSTS SHALL BE BORNE BY THE CONTRACTOR.
4. CONTRACTOR SHALL ADJUST ALL UTILITY MANHOLES, CATCH BASINS, AND DROP INLETS AS NECESSARY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE UTILITY COMPANIES PRIOR TO PERFORMING NECESSARY ADJUSTMENTS. THE ABOVE NOTIFICATION SHALL BE MADE AT LEAST 2 WEEKS PRIOR TO CONSTRUCTION IN AREA OF CONFLICT TO ALLOW THE REQUIRED UTILITY COMPANY SUFFICIENT TIME FOR RESPONSE.
5. THE CITY OF NEW ORLEANS SHALL HAVE THE RIGHT TO RETAIN PROCESSION OF CASTINGS. IF SO, CONTRACTOR SHALL DELIVER TO CITY. OTHERWISE, CONTRACTOR SHALL DISPOSE OF CASTING.
6. THE LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE SAME AND SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT THEM.
7. ALL CHANGES FROM THESE DRAWINGS MUST BE APPROVED BY THE ENGINEER PRIOR TO BEGINNING THE CONSTRUCTION WITH WHICH THEY ARE CONCERNED.
8. BEFORE FINAL INSPECTION OF THE WORK, THE CONTRACTOR SHALL SUBMIT AN "AS-BUILT" DRAWING TO THE ENGINEER SHOWING CHANGES IN LINE OR GRADE FROM THE ORIGINAL DRAWINGS, AND THE LOCATION AND DEPTH OF ALL UTILITIES.
9. FINAL ACCEPTANCE OF WORK IN THE PUBLIC RIGHT-OF-WAY IS CONTINGENT UPON ONE YEAR MAINTENANCE PERIOD FOLLOWING SATISFACTORY INSPECTION BY THE ENGINEER.
10. IN CASE OF CONFLICT BETWEEN THE NEW DRAIN LINES AND THE SEWER OR WATER LINES, THE CONTRACTOR SHALL FIRST ATTEMPT TO ADJUST THE SEWER OR WATER LINES TO AVOID THE CONFLICTS.

SIDEWALKS

1. ANY SIDEWALK OR ACCESSIBLE ROUTE THAT IS NOT AT LEVEL. ELEVATIONS AT ITS INTERSECTION WITH A DRIVEWAY OR STREET WILL BE REQUIRED TO HAVE A CURB RAMP AT A MAXIMUM SLOPE OF 1:12, WITH A MAXIMUM RISE OF 30" AND A MINIMUM LEVEL STRAIGHT CURB SEGMENT OF 48".
2. THE TEXTURE OF THE DRIVEWAY AND INTERSECTION HANDICAP RAMPS SHALL BE CONSTRUCTED OF A NON-SLIP SURFACE. ACCOMPLISHED BY "BROOMING" THE RAMP SURFACES AND GROOVING ONE INCH SPACINGS AT RIGHT ANGLE DIRECTIONS. GROOVES TO BE APPROXIMATELY 1/4" x 1/8" INCH WIDE.
3. PORTION OF SIDEWALK THROUGH DRIVEWAY APRONS SHALL HAVE NO MORE THAN 2% CROSS SLOPE.

PARKING LOT

1. PARKING STALLS MUST BE DESIGNATED WITH A 4 INCH CONTRASTING STRIPE (YELLOW ON CONCRETE AND YELLOW OR WHITE ON ASPHALT PARKING LOT).
2. HANDICAP PARKING SPACE TO BE DESIGNATED BY BLUE STRIPING AND EITHER A BLUE SYMBOL ON A WHITE BACKGROUND OR A WHITE SYMBOL ON A BLUE BACKGROUND. HANDICAP PARKING STALL(S) REQUIRE THE PROPER SIGNAGE, AS SHOWN.
3. ALL WHEEL STOPS AND CONCRETE CURBS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAIL SHOWN ON THIS PLAN.
4. ALL PARKING SPACES TO BE LAID OUT IN ACCORDANCE WITH THE TYPICAL DETAIL AS SHOWN ON THIS PLAN, UNLESS OTHERWISE INDICATED ON THIS PLAN.
5. ALL PARKING LOT PAVING TO BE CONSTRUCTED OF P.C.C. PAVEMENT, AND SHALL ATTAIN A COMPRESSIVE STRENGTH OF 4,000psi AT 28 DAYS. REINFORCING SHALL CONSIST OF 6x12 0/1WWF PLACED AT MID-HEIGHT.

DRIVEWAYS:

1. ALL DRIVEWAYS BETWEEN STREET AND PROPERTY LINE SHALL BE CONSTRUCTED OF P.C.C. PAVEMENT AND SHALL ATTAIN A COMPRESSIVE STRENGTH OF 4,000psi IN 28 DAYS AND SHALL BE A MINIMUM THICKNESS OF 8 INCHES.
2. ALL DRIVEWAYS BETWEEN STREET AND PROPERTY LINE CONNECTING WITH AN EXISTING ROADWAY TO BE CONSTRUCTED IN ACCORDANCE WITH DETAIL AS SHOWN ON THIS PLAN AND SHALL RECEIVE A BROOM FINISH.
3. EXACT LOCATIONS OF ROADWAY AND DRIVEWAY CURBING WILL BE DETERMINED IN THE FIELD BY A REPRESENTATIVE FROM THE PARISH DEPARTMENT OF ENGINEERING.
4. CONTRACTOR WILL CONTACT THE PARISH DEPARTMENT OF PUBLIC WORKS, 2 DAYS PRIOR TO THE FORMING OF DRIVEWAYS CONNECTING TO THE ROADWAY.

SITE DEMOLITION / PREPARATION:

1. REMOVE ALL EXISTING TREES, TREE CLUSTERS, AND OBSTRUCTIONS ONLY WITHIN THE WORK AREA AS NECESSARY TO INSTALL NEW WORK. SEE SITE SURVEY FOR LOCATION OF TREES AND OBSTRUCTIONS.
2. REMOVE EXISTING GRASS, PAVING AND OTHER VEGETATION WITHIN THE WORK AREA.
3. REMOVE ALL ROOTS, TRASH, DEMOLISHED MATERIALS AND DEBRIS FROM SITE AS DISPOSE OF LEGALLY.
4. USE OF EXPLOSIVES IS PROHIBITED.
5. REMOVE ALL EXISTING ROLLOVER CURBS ONLY WITHIN THE WORK AREA AS NECESSARY TO INSTALL NEW WORK (DECELERATION LANES, WALKWAYS, ETC.).

TRAFFIC CONTROL

1. PRIOR TO THE BEGINNING OF THE CONSTRUCTION, THE CONTRACTOR SHALL DEVELOP AND SUBMIT TO THE ENGINEER AND TO THE CITY OF NEW ORLEANS TRAFFIC ENGINEER FOR APPROVAL:
   a) ALL EXISTING TRAFFIC CONTROL DEVICES (SIGNALS, SIGNS, RAISED MARKERS, PAVEMENT MARKINGS, ETC...) ACCURATELY LOCATED ON A SITE PLAN.
   b) A PLAN FOR THE PROPOSED ROUTE ON WHICH CONSTRUCTION MATERIALS AND EQUIPMENT ARE TO BE TRANSPORTED TO AND FROM THE CONSTRUCTION SITE.
   c) A DETOUR PLAN SHOWING PROPOSED ROUTES FOR LOCAL TRAFFIC AND TRANSIENT TRAFFIC ON WHICH LOCATIONS OF DETOUR TRAFFIC CONTROL DEVICES AND CONSTRUCTION ZONE OR WORK ZONE TRAFFIC CONTROL DEVICES ARE SHOWN. TRAFFIC CONTROL DEVICES APPLICATIONS & METHODS SHALL BE IN COMPLIANCE WITH PART IV OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
2. TRAFFIC PLANS SHALL INCLUDE NAME AND TELEPHONE NUMBER OF RESPONSIBLE PERSONNEL IN CHARGE OF THE PROJECT.
3. THE CONTRACTOR SHALL SEEK APPROVAL OF THE CITY OF NEW ORLEANS TRAFFIC ENGINEER FOR ANY TRAFFIC-RELATED PLAN CHANGES, INCLUDING REMOVAL, RELOCATION, OR ADDITION OF THE CONTROL DEVICES BEFORE OR DURING THE COURSE OF THE CONSTRUCTION.
4. ALL EXISTING TRAFFIC CONTROL DEVICES WHICH ARE IN CONFLICT WITH THE CONSTRUCTION OR WORK ZONE TRAFFIC CONTROL PLAN SHALL BE COVERED OR REMOVED BY THE CONTRACTOR. THE REMOVED DEVICES SHALL BE RETURNED TO THE CITY, LADOTD, OR OWNER, WHICHEVER IS APPLICABLE.
5. ALL REMOVED TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL POSITION AND ORIENTATION BY THE CONTRACTOR PRIOR TO THE TIME OF FINAL INSPECTION.
6. ALL TRAFFIC CONTROL DEVICES AND THEIR ASSOCIATED HARDWARE (SIGNS, SIGNALS, CONDUITS, CABLES, AND MARKINGS, ETC.) REMOVED OR DAMAGED DURING EXECUTION OF THIS CONTRACT, OTHER THAN AS PROVIDED IN THIS CONTRACT, SHALL BE REPLACED AND ALL COSTS SHALL BE BORNE BY THE CONTRACTOR.
7. ANY DAMAGE TO ROADS AND SIGNS CAUSED BY THE CONTRACTOR'S WORK SHALL BE IMMEDIATELY REPORTED BY THE CONTRACTOR TO THE ENGINEER. REPAIRS SHALL BE PERFORMED BY CONTRACTOR, OWNER'S FORCES, OR CITY FORCES, AT DISCRETION OF THE ENGINEER, WITH ALL ASSOCIATED COSTS PAID BY THE CONTRACTOR.
8. THE CONTRACTOR SHALL MAINTAIN 50% OF ROADWAY ACCESSIBLE TO LOCAL TRAFFIC AT ALL TIMES OR PROVIDE A TEMPORARY ROADWAY ACCEPTABLE TO THE CITY.
9. ANY WORK IN OR ADJACENT TO THE ROADWAY CAUSING AN INTERFERENCE TO VEHICULAR TRAFFIC REQUIRES PRIOR NOTIFICATION TO THE CITY OF NEW ORLEANS TRAFFIC ENGINEERING DIVISION AND CONFORMITY TO THE REQUIREMENT OF THE UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES OF THE STATE OF LOUISIANA. THE CONTRACTOR MUST FINISH ALL NECESSARY TRAFFIC SIGNS AND/OR BARRICADES, AND MAINTAIN THEM DURING CONSTRUCTION ACTIVITY.
10. CONTRACTOR SHALL APPLY FOR, COORDINATE, AND PAY FOR ALL TRAFFIC PERMITS.

SITE AS-BUILT DOCUMENTATION

1. UPON COMPLETION OF ALL SITE WORK, CONTRACTOR SHALL PROVIDE AN AS-BUILT TOPOGRAPHIC SURVEY OF THE SITE.
2. THIS SURVEY SHALL INCLUDE, BUT NOT LIMITED TO:
   A. GRADE ELEVATIONS AT EACH GRADE ELEVATION INDICATED ON CONTRACT DRAWINGS
   B. DELINEATION AND DEPTHS OF ALL UTILITIES
   C. INVERTS OF EACH END OF ALL UNDERGROUND SEWER, WATER, AND DRAIN PIPES AS WELL AS INVERTS AND TOPS OF ALL ASSOCIATED MANHOLES AND INLETS
   D. FINAL LOCATIONS OF MANHOLES, INLETS, VALVES, HYDRANTS, METERS, CLEANOUTS, ETC.
   E. FINAL DELINEATION OF ALL CURBS, PAVING EDGES, BUILDINGS, ETC.
   F. FINAL LOCATIONS OF ALL SITE ELEMENTS, FENCING, BOLLARDS, SIGNS, TREES, ETC.
3. THE AS-BUILT SURVEY SHALL BE PROVIDED IN (3) HARD COPIES OF FULL SIZED PLAN SHEETS, PDF FORMAT, STAMPED BY A REGISTERED PROFESSIONAL SURVEYOR, AND PROVIDED IN AUTOCAD 2009 FORMAT. DO NOT PROVIDED IN AUTOCAD CIVIL 3D.
4. IN SUCH CASE IT IS DETERMINED THAT THE AS-BUILT SURVEY DOES NOT ACCURATELY DEPICT ACTUAL, FINAL SITE CONDITIONS, CONTRACTOR SHALL BEAR ALL COSTS RELATED TO SUBSEQUENT FIELD INVESTIGATIONS AND FOLLOW-UP REVISIONS TO AS-BUILT DOCUMENTATION WHETHER INCURRED BY CONTRACTOR OR ANY OTHER PARTY.

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JE No. 17035

SCALES IN THIS DRAWING ARE AS SHOWN WHEN THIS BAR MEASURES 1" LONG

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

MATERIALS KEYING/ GENERAL NOTES

No.	Description	Date

KEY PLAN

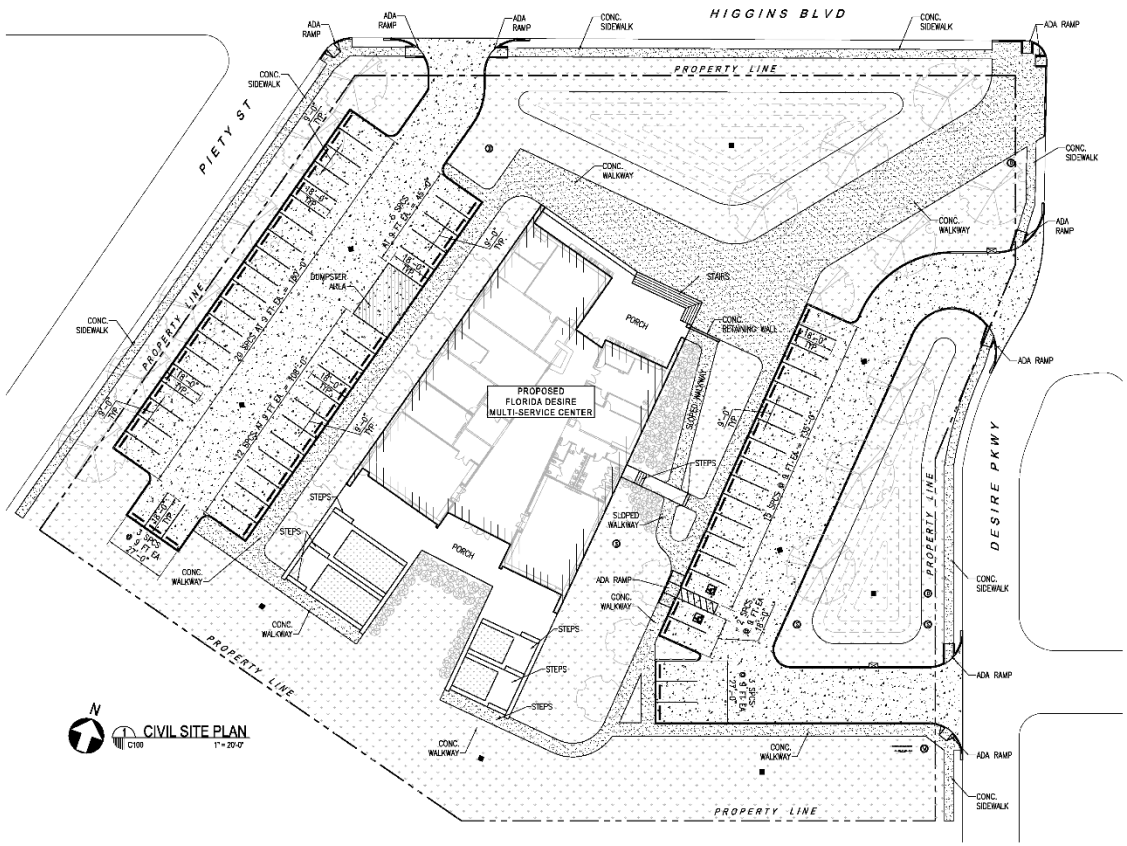
Mathes Brierre
ARCHITECTS

201 St. Charles Avenue. Forty First Floor
New Orleans, Louisiana 70170-4100
Voice. 504. 586. 9303. Fax. 504. 582. 1385

PROJECT TITLE

FLORIDA DESIRE
MULTI-SERVICE CENTER

DESIGNED BY	AJM	CHECKED BY	KEJ
DRAWN BY	AJM	DATE	12/15/2017
SHEET TITLE	CIVIL NOTES SHEET		
PROJECT NO.	77250	SHEET NO.	C001



LEGEND

- 6" THK. PORTLAND CEMENT CONCRETE PAVEMENT
- 7" THK. PORTLAND CEMENT CONCRETE PAVEMENT
- 4" THK. PORTLAND CEMENT CONCRETE SIDEWALKS AND WALKWAYS
- BUILDING EDGE JOINT
- GREEN SPACE (REF. MECH.)
- DOWELED BARRIER CURB
- CURB AND GUTTER SECTION AT PERVIOUS CONCRETE
- DRAIN INLET
- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- DOMESTIC 3/4 FIRE WATER METER ASSEMBLY

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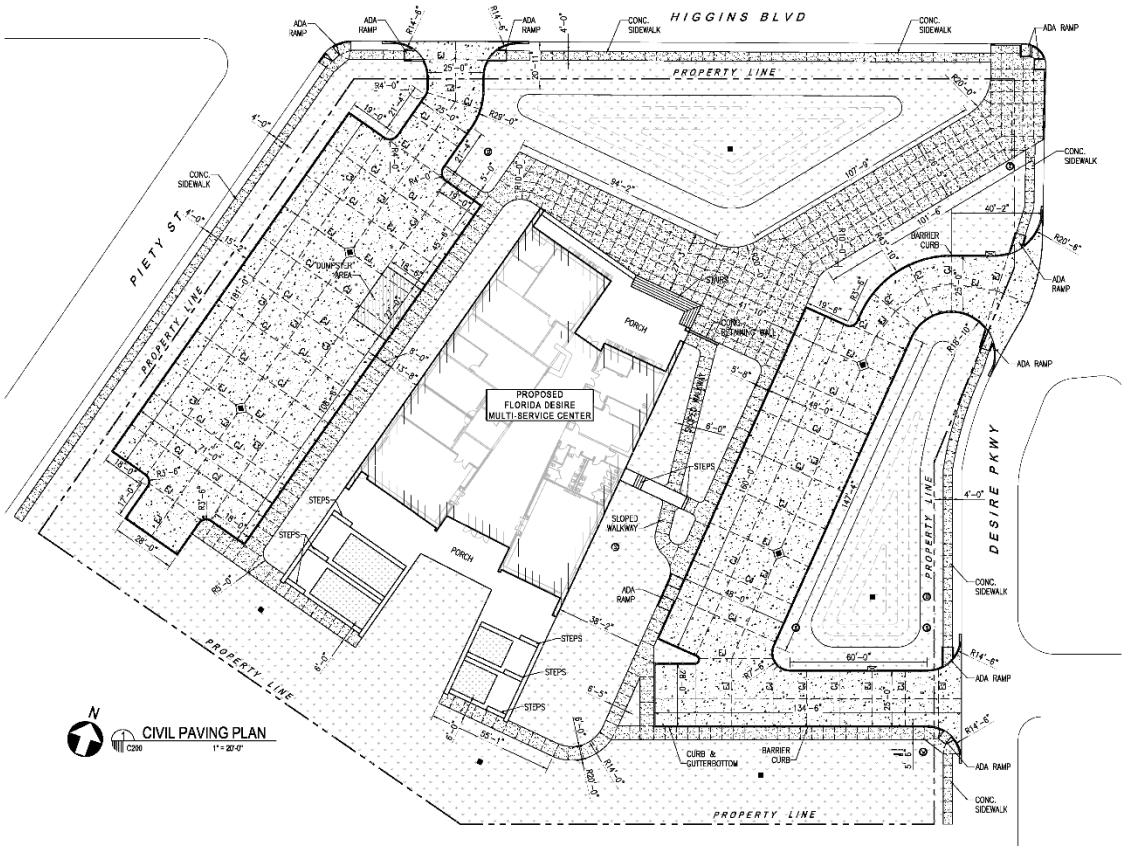
PROJECT TITLE

FLORIDA DESIRE
MULTI-SERVICE CENTER

DESIGNED BY: AJM	CHECKED BY: KEJ
DRAWN BY: AJM	DATE: 12/15/2017
SHEET TITLE: CIVIL SITE PLAN	
PROJECT NO.: 77250	SHEET NO.: C100



CIVIL PAVING PLAN
C200
1" = 20'-0"

PAVING LEGEND

- PEDESTRIAN PAVING JOINTS
- EXPANSION JOINTS
- CONTROL JOINTS

SEE CIVIL SITE SHEET C100 FOR GRADING INFORMATION NOT PROVIDED HERE

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PROJECT TITLE

FLORIDA DESIRE
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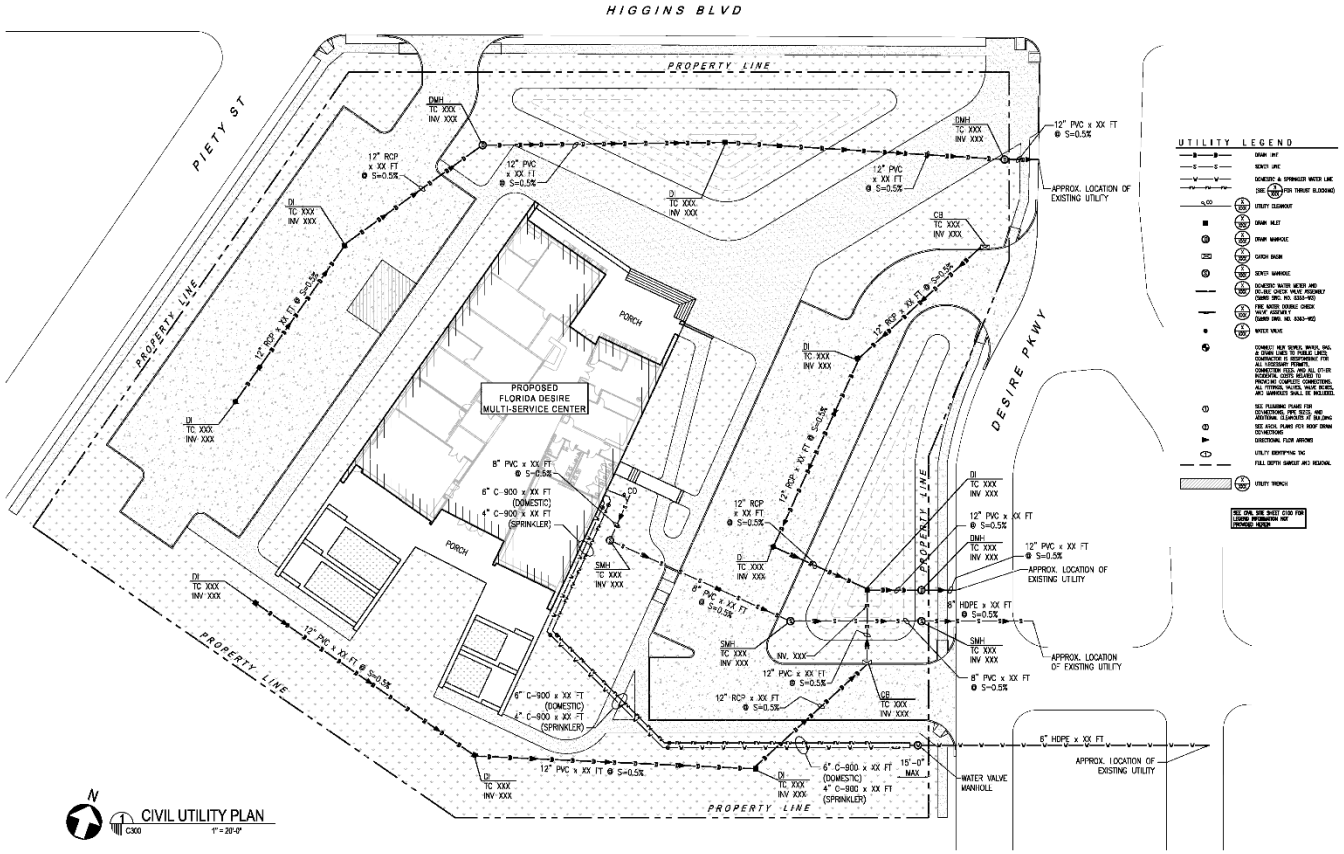
DESIGNED BY: AJM	CI CODED BY: KEJ
DRAWN BY: AJM	DATE: 12/15/2017
SHEET TITLE: CIVIL PAVING PLAN	
PROJECT NO.: 77250	SHEET NO.: C200



UTILITY LEGEND

- DRAIN LINE
- SEWER LINE
- DOMESTIC & SPRINKLER WATER LINE (SEE DETAIL FOR THRUST BLOCKING)
- UTILITY CLEANOUT
- DRAIN INLET
- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- DOMESTIC WATER METER AND DA-BAC GATE VALVE ASSEMBLY (SAME SPEC. NO. 0333-100)
- FIRE WATER DOUBLE CHECK VALVE ASSEMBLY (SAME SPEC. NO. 0333-102)
- WATER VALVE
- CONNECT NEW SEWER, WATER, GAS, & DRAIN LINES TO PUBLIC LINES. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS. CONTRACTOR TO INSTALL ALL OTHER INCIDENTAL COSTS INCURRED TO PROVIDE COMPLETE CONNECTIONS. ALL FITTINGS, VALVES, VALVE BOXES, AND SAMPLES SHALL BE INCLUDED.
- SEE PLUMBING PLANS FOR ROOF DRAIN LOCATIONS AND ADDITIONAL CLEANOUTS OF BUILDING
- SEE ARCH. PLANS FOR ROOF DRAIN CONNECTIONS
- DIRECTIONAL FLOW ARROWS
- UTILITY IDENTIFYING TAG
- FULL DEPTH GARGET AND REGIONAL
- UTILITY TRENCH

SEE CIVIL SITE SHEET C100 FOR LEGEND INFORMATION NOT PROVIDED HEREON

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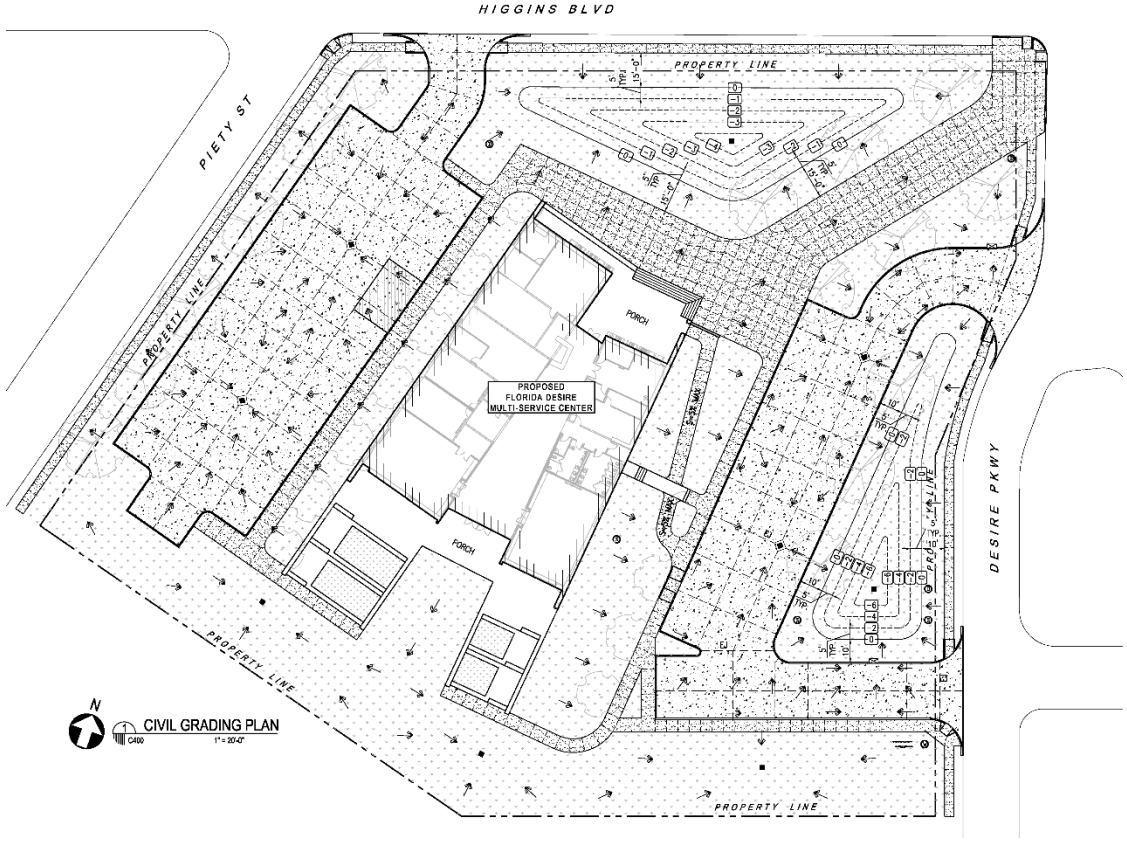
PROJECT TITLE

FLORIDA DESIRE
MULTI-SERVICE CENTER

DESIGNED BY: AJM	CHECKED BY: KEJ
DRAWN BY: AJM	DATE: 12/15/2017
SHEET TITLE: CIVIL UTILITY PLAN	
PROJECT NO.: 77250	SHEET NO.: C300



CIVIL GRADING PLAN
C400 1" = 20'-0"

GRADING LEGEND

0000	PROPOSED FINAL GRADE ELEVATION POINTS
→	FINISHED FINAL GRADE SLOPE INDICATOR

SEE CIVIL SITE SHEET C100 FOR CURRENT INFORMATION NOT PROVIDED HEREIN

JULIEN ENGINEERING & CONSULTING
2916 GEN. DEGAULLE DR., STE. 200
NEW ORLEANS, LOUISIANA 70114
www.julien-engineering.com

JE No. 17035

SCALES IN THIS DRAWING ARE AS SHOWN WHEN THIS BAR MEASURES 1" LONG

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

WATER/ALS KEY NO/ GENERAL NOTES

No.	Description	Date

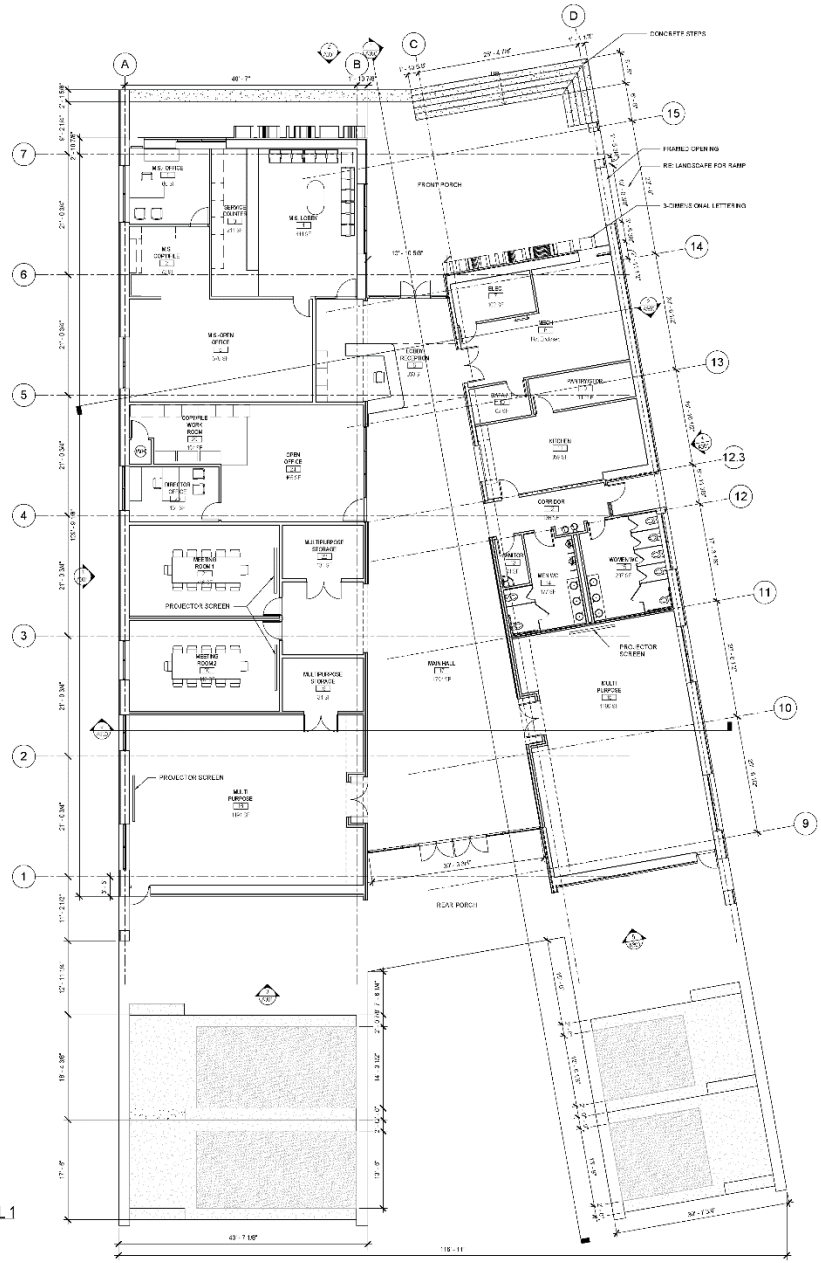
KEY PLAN

Mathes Brierre ARCHITECTS
2013 St. Charles Avenue, Forty First Floor
New Orleans, Louisiana 70130-4100
Voice. 504. 586. 8005. Fax. 504. 582. 0385

PROJECT TITLE

FLORIDA DESIRE
MULTI-SERVICE CENTER

DESIGNED BY AJM	CHECKED BY KEJ
DRAWN BY AJM	DATE 12/15/2017
SHEET TITLE CIVIL GRADING PLAN	
PROJECT NO. 77250	SHEET NO. C400



FLOOR PLAN - LEVEL 1
A201 1/8" = 1'-0"

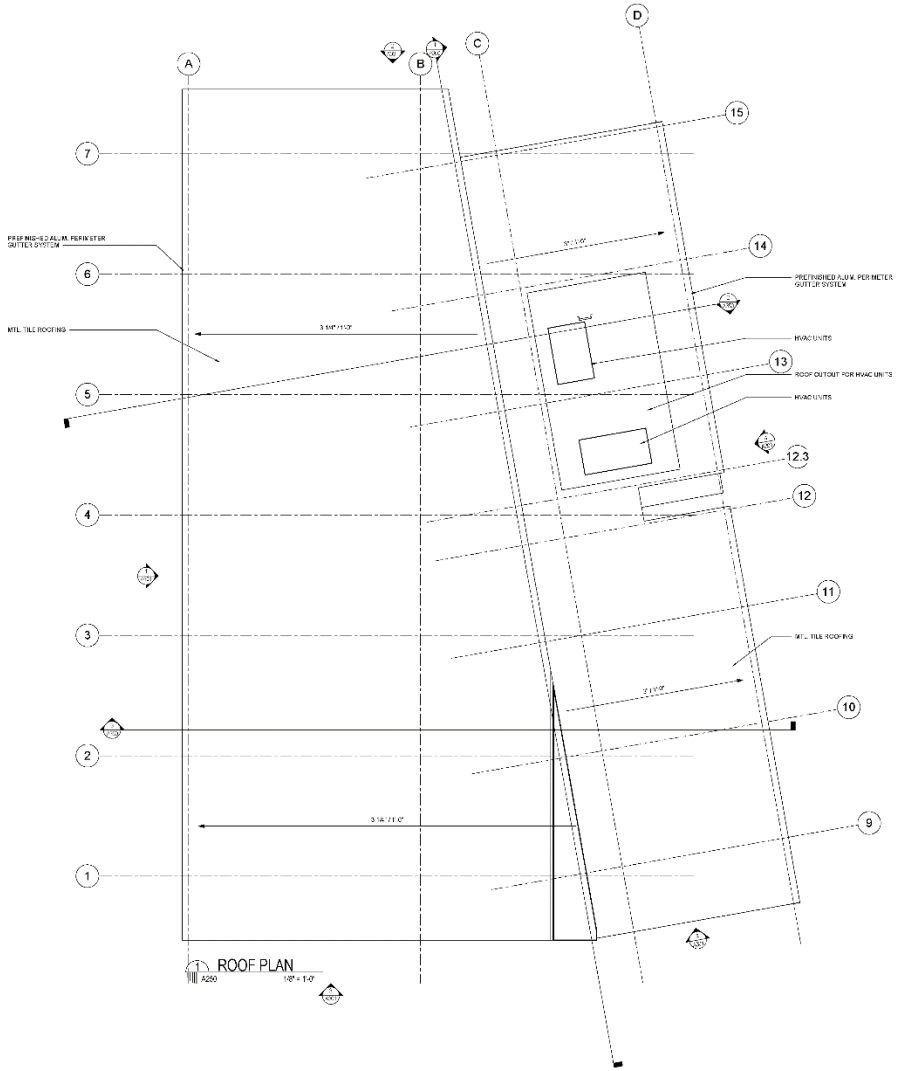
Mathes Brierre
ARCHITECTS

FLORIDA DESIRE
MULTI-SERVICE CENTER

DESIGN DEVELOPMENT

FLOOR PLAN - LEVEL 1

77250 A201



1 ROOF PLAN
A250 1/8" = 1'-0"

No.	Description	Date

Mathes Brierre
ARCHITECTS

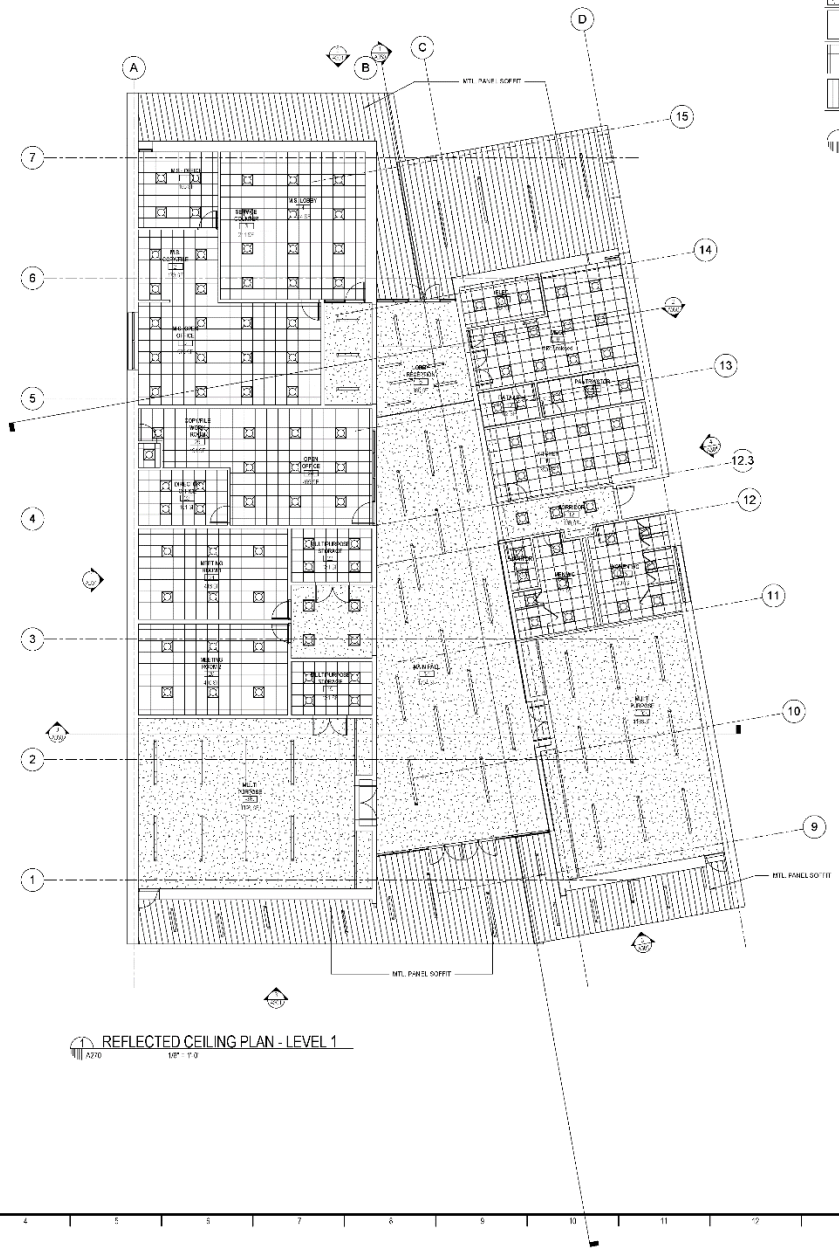
FLORIDA DESIRE
MULTI-SERVICE CENTER

DESIGN DEVELOPMENT

Designer	Checker
Author	12/15/2017

ROOF PLAN

77250	A250



REFLECTED CEILING PLAN - LEVEL 1
A270 1/8" = 1'-0"

LEGEND - REFLECTED CEILING PLAN

GYP BOARD, SUSPENDED: REFER TO MATERIALS SCHEDULE A700	ACOUSTIC WOOD CEILING: REFER TO MATERIAL SCHEDULE				2X2 LIGHT FIXTURE - SEE ELECTRICAL
					LIGHT FIXTURE - SEE ELECTRICAL
EXPOSED STRUCTURE, NO CEILING					75% SMART LIGHT FIXTURE - SEE ELECTRICAL
					EXIT SIGN: REF. ELECT.
2X2 ACOUSTIC CEILING TILE, SUSPENDED: REFER TO MATERIALS SCHEDULE A700	VENT - SEE MECHANICAL		2X2 OR 2X4 LIGHT FIXTURE - SEE ELECTRICAL		
	VENT - SEE MECHANICAL		1X4 LIGHT FIXTURE - SEE ELECTRICAL		RECESSED EMERGENCY FIXTURE - SEE ELECTRICAL
EXTERIOR METAL PANEL SOFFIT	VENT - SEE MECHANICAL		LINEAR LED FIXTURE		
	VENT - SEE MECHANICAL		LED TRUFIXTURE - SEE ELECTRICAL		WINDOW SHADE - SEE SPECIFICATIONS

RCP LEGEND
1/8" = 1'-0"

No.	Description	Date

Mathes Brierre
ARCHITECTS

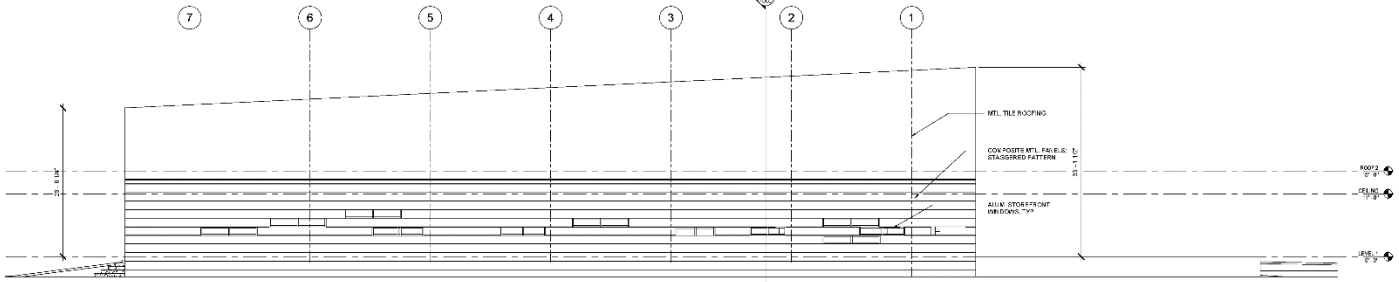
FLORIDA DESIRE
MULTI-SERVICE CENTER

DESIGN DEVELOPMENT

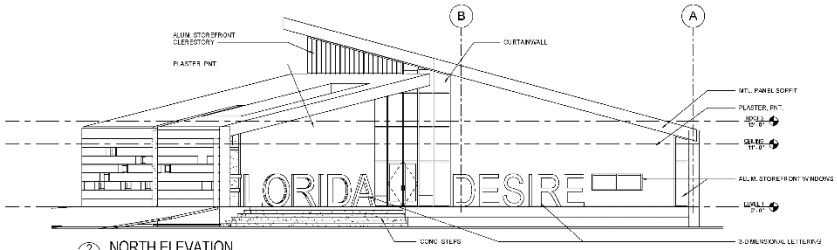
Designer	Checker
Author	12/15/2017

REFLECTED CEILING PLAN

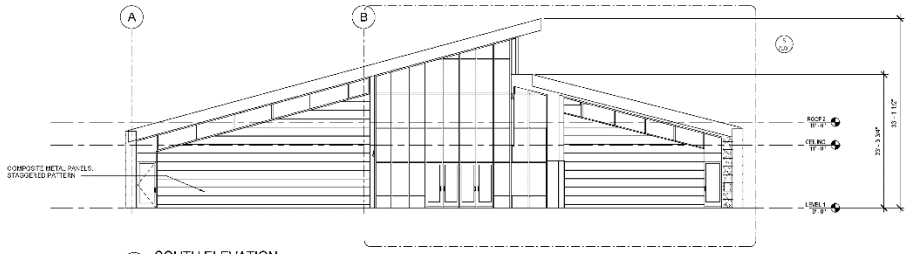
77250 | A270



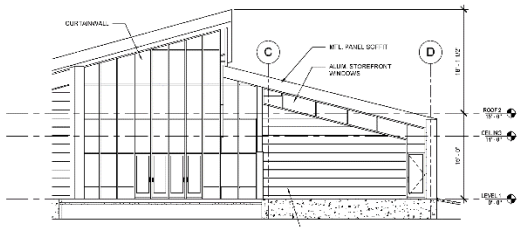
1 WEST ELEVATION
A301 1/8" = 1'-0"



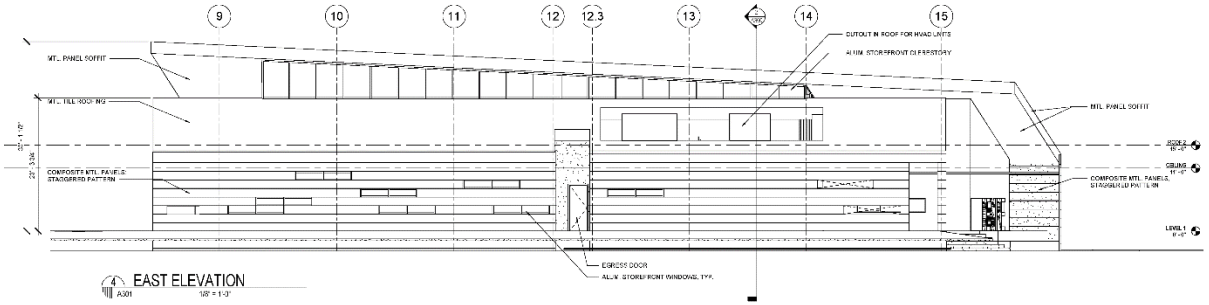
2 NORTH ELEVATION
A301 1/8" = 1'-0"



3 SOUTH ELEVATION
A301 1/8" = 1'-0"



5 SOUTH PART ELEVATION
A301 1/8" = 1'-0"



4 EAST ELEVATION
A301 1/8" = 1'-0"

No.	Description	Date

Mathes Brierre
ARCHITECTS

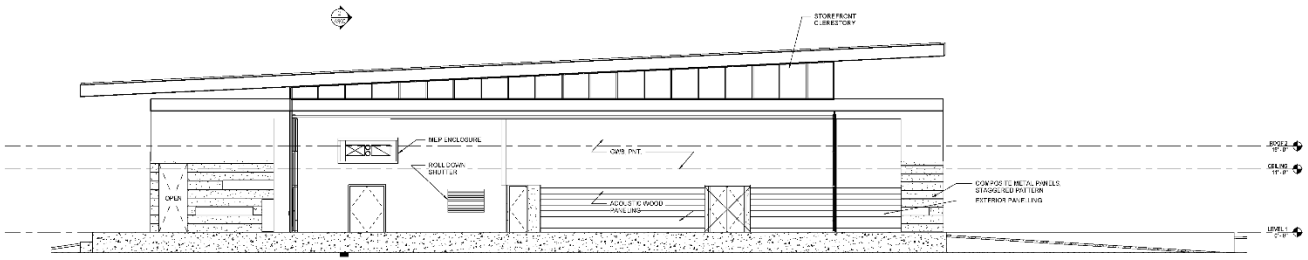
FLORIDA DESIRE
MULTI-SERVICE CENTER

DESIGN DEVELOPMENT

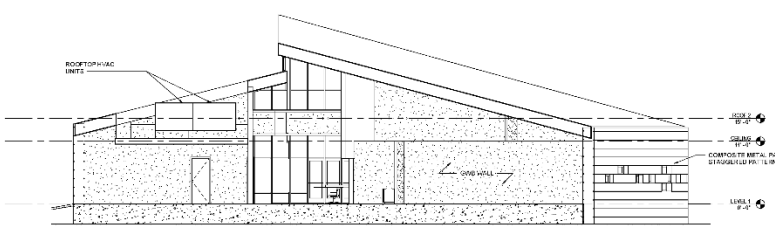
Designer	Checker
Author	12/15/2017

EXTERIOR ELEVATIONS

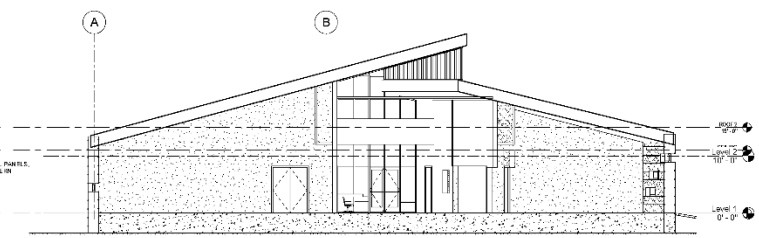
77250 | A301



1 A350 BUILDING SECTION EAST
1/8" = 1'-0"



2 A350 BUILDING SECTION SOUTH
1/8" = 1'-0"



3 A350 BUILDING SECTION NORTH
1/8" = 1'-0"

No.	Description	Date

Mathes Brierre
ARCHITECTS
30 St. Charles Avenue, Partly First Floor
New Orleans, Louisiana 70130-4102
Voice 504.581.0302 Fax 504.568.1005
a.chibatka@mathesbrierre.com

PROJECT TITLE
FLORIDA DESIRE
MULTI-SERVICE CENTER

DESIGN DEVELOPMENT

DRAWN BY: Designer	CHECKED BY: Checker
DATE: Author	DATE: 12/15/2017

SHEET TITLE: BUILDING SECTIONS

PROJECT NO.	SHEET NO.
77250	A350

FINISH SCHEDULE 2									
NUMBER	NAME	FLOOR	BASE	NORTH WALL	SOUTH WALL	EAST WALL	WEST WALL	CEILING	COMMENTS

FINISH SCHEDULE 2									
NUMBER	NAME	FLOOR	BASE	NORTH WALL	SOUTH WALL	EAST WALL	WEST WALL	CEILING	COMMENTS

FINISH SCHEDULE 2									
NUMBER	NAME	FLOOR	BASE	NORTH WALL	SOUTH WALL	EAST WALL	WEST WALL	CEILING	COMMENTS
1	MEN'S CORRIDOR	CPT-1	B-1					ACT-1	
2	MEN'S CLOTHING	CPT-1	B-1					ACT-1	
3	OFFICE/RECEPTION	CPT-1	B-1					ACT-1	
4	MEN'S SHOWER	CPT-1	C-1					MG-1	
5	MEN'S WASH CORRIDOR	CPT-1	B-1					ACT-1	
6	ELECTRICAL/DATA	VCT-1	C-1					MG-2	
7	FIBER	VCT-1	B-1					ACT-1	
8	HALL 1	VCT-1	C-1					MG-2	
9	POWDER ROOM	CPT-1	CPT-1					PT-1	
10	LAUNDRY	CPT-1	B-1					MG-3	
11	KITCHEN	CPT-1	CPT-1					PT-1	
12	CONFERENCE	VCT-1	C-1					MG-2	
13	PANTRY	CPT-1	CPT-1					ACT-1	
14	HALL 2	CPT-1	CPT-1					MG-3	
15	WOMEN'S WAL	CPT-1	CPT-1					ACT-1	
16	MULTI-PURPOSE	VCT-1	C-1					MG-2	
17	ART HALL	VCT-1	C-1					MG-2	
18	MULTI-PURPOSE	VCT-1	B-1					MG-2	
19	MULTI-PURPOSE STORAGE	VCT-1	B-1					ACT-1	
20	WOMEN'S SHOWER	CPT-1	B-1					ACT-1	
21	HALL 3 (WOMEN'S)	CPT-1	C-1					MG-1	
22	MULTI-PURPOSE	VCT-1	B-1					ACT-1	
23	DIRECTOR'S OFFICE	CPT-1	C-1					ACT-1	
24	CONFERENCE	CPT-1	B-1					ACT-1	
25	COUNSELING/INTERVIEW	CPT-1	C-1					MG-2	

MATERIAL SCHEDULE					
ITEM NO.	CATEGORY	DESCRIPTION	MANUFACTURER	PRODUCT/COLOR	NOTES
BASE					
B-1	BASE	RUBBER BASE		DT INDUSTRIAL RUBBER LLC	
CEILING					
ACT-1	CEILING	ACOUSTICAL CEILING TILE		DRYWALL/ACOUSTICAL CEILING TILE INTERIOR LED RECESSED FLUORESCENT LIGHTING	
ACT-2	CEILING	GYP BOARD		PAINTED TO MATCH ADJACENT WALL COLOR	
ACT-3	CEILING	ACOUSTICAL CEILING TILE		DRYWALL/ACOUSTICAL CEILING TILE	–
CARPET TILE					
CPT-1	CARPET TILE				
CPT-2	CARPET TILE				
FLOORING					
CON-1	FLOORING	CONCRETE SEALER		–	–
CPT-1	FLOORING	CARPET TILE	–	–	–
VCT-1	FLOORING	CARPET TILE			
CER-1	FLOORING	CERAMIC TILE	INTERCONTINENTAL	CHIC	–
VCT-2	FLOORING	LUXURY VINYL TILE PLANKS		DUNE/BEACH	
VCT-3	FLOORING	LUXURY VINYL TILE PLANKS	–	MARY JANE/GREY	–
PAINT					
PT-1	PAINT	FLAT	–	–	–
PT-2	PAINT	FLAT			
PT-3	PAINT	FLAT	–	–	–
PT-4	PAINT	FLAT			
PT-5	PAINT	FLAT	–	–	–
PT-6	PAint	FLAT			
PT-7	PAint	FLAT	–	–	–
WALL					
W-1	WALL	ACOUSTIC WALL PANEL (24")			

MATHES & BRIERRE ARCHITECTS NOTES

No.	Description	Date

Mathes Brierre
ARCHITECTS

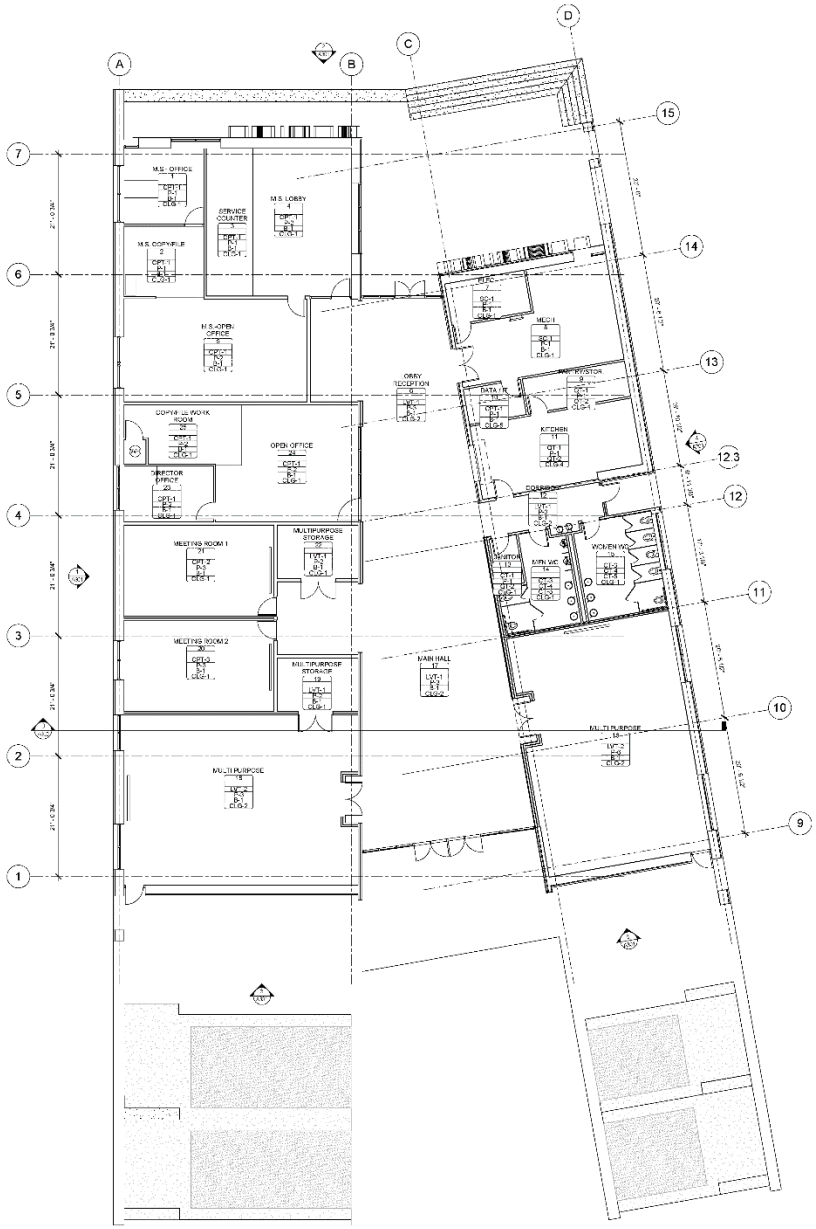
3811 St. Charles Avenue, Fairly Best Door
New Orleans, Louisiana 70115-4120
Voice 504.895.9082 Fax 504.895.9386
architecture@mathesbrierre.com

PROJECT TITLE

FLORIDA DESIRE
MULTI-SERVICE CENTER

DESIGN DEVELOPMENT

DRAWN BY: Designer
CHECKED BY: Checker
REVIEWED BY: Author
DATE: 12/15/2017
SHEET TITLE: FINISH AND MATERIAL SCHEDULE
PROJECT NO.: 77250
SHEET NO.: A702



FINISH PLAN
A705 1/16" = 1'-0"

FINISH LEGEND

ROOM ——— ROOM NAME

101	ROOM NUMBER
CPT-1	FLOOR FINISH
P-1	WALL FINISH
B-1	BASE FINISH
	CEILING FINISH (SEE REFLECTED CEILING PLAN AND MATERIAL LIST)

MATERIAL LEGEND
A705 1/16" = 1'-0"

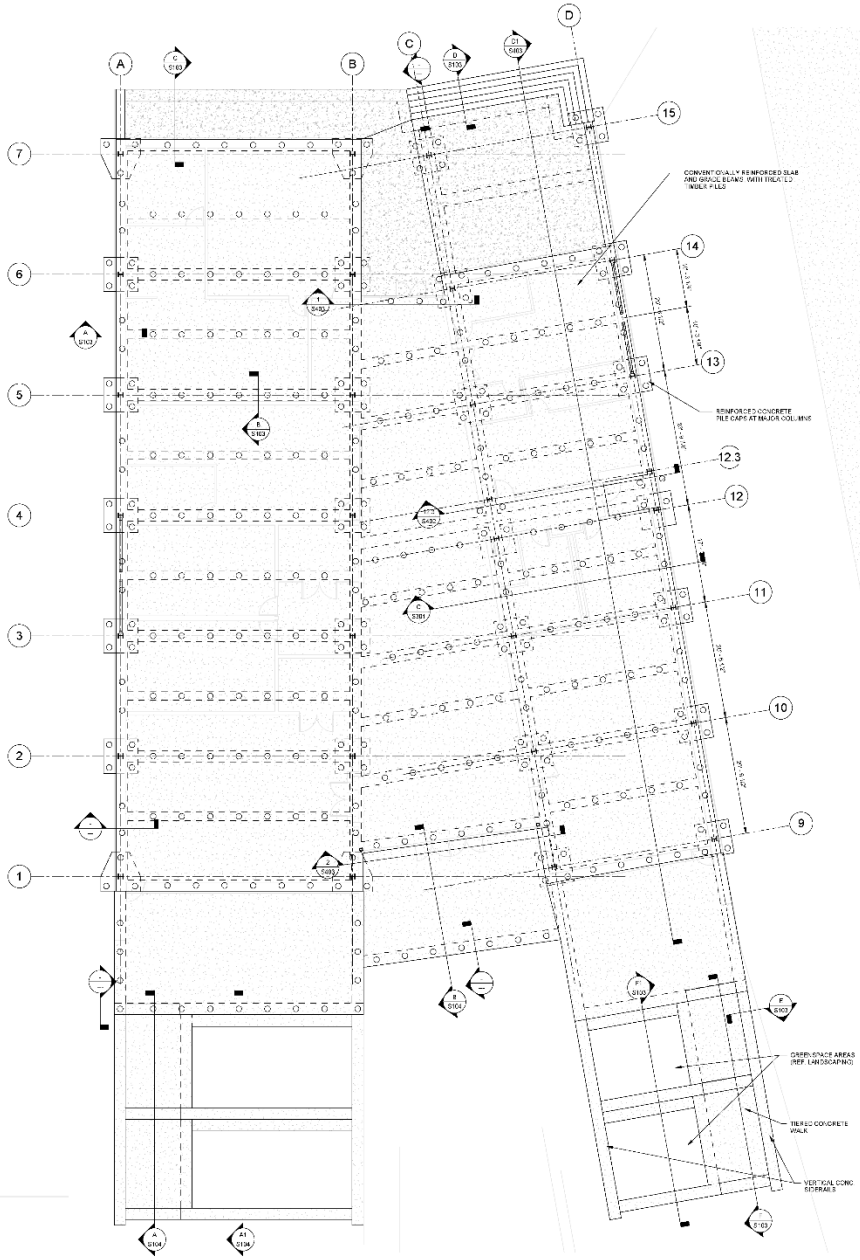
No.	Description	Date

Mathes Brierre
ARCHITECTS
201 St. Charles Avenue, Forty-first floor
New Orleans, Louisiana 70170-4100
Voice 504.581.1001 Fax 504.568.1986
architecture@mathesbrierre.com

PROJECT TITLE
FLORIDA DESIRE
MULTI-SERVICE CENTER

DESIGN DEVELOPMENT

DRAWN BY: Designer	CHECKED BY: Checker
REVIEWED BY: Author	DATE: 12/15/2017
SHEET TITLE: FLOOR FINISH PLAN	
PROJECT NO.: 77250	SHEET NO.: A705



1 FOUNDATION PLAN
S101 1/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

JULIEN ENGINEERING & CONSULTING

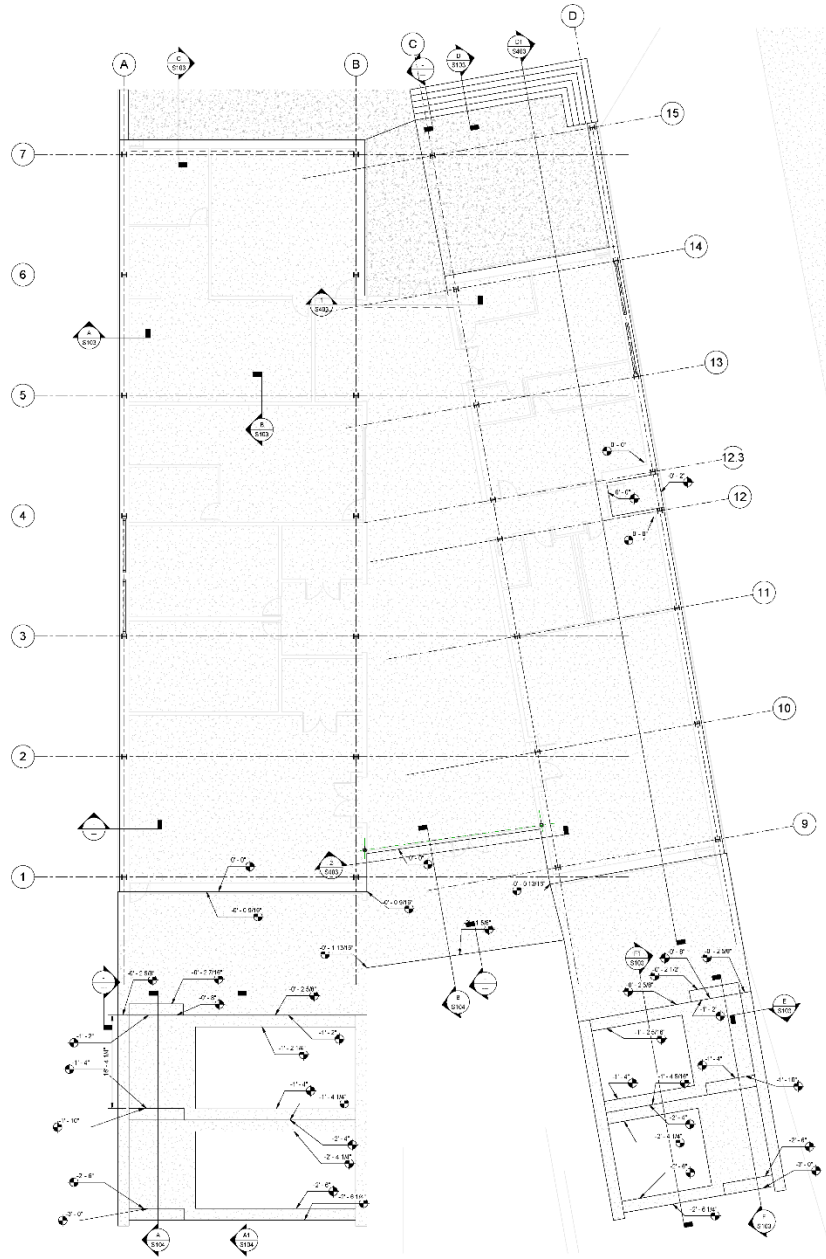
PARTIAL SUPPLEMENTAL PLANS

No.	Description	Date

Mathes Brierre ARCHITECTS

PROJECT TITLE
FLORIDA DESIRE
MULTI-SERVICE CENTER

DRAWN BY KEJ Jr.
CHECKED BY KEJ Sr.
DATE 12/5/2017
SHEET TITLE FOUNDATION PLAN
PROJECT NO. 77250
SHEET NO. S101



SLAB PLAN
S102 1/5" = 1'-0"

JULIEN ENGINEERING & CONSULTING

PRELIMINARY
NOT FOR CONSTRUCTION

No.	Description	Date

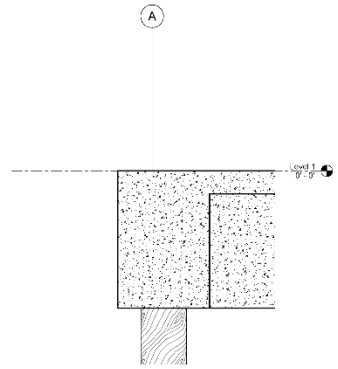
Mathes Brierre ARCHITECTS

FLORIDA DESIRE
MULTI-SERVICE CENTER

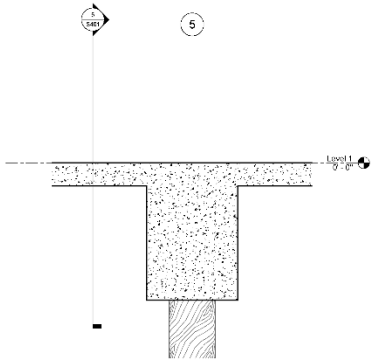
DRAWN BY: Designer	CHECKED BY: Checker
DATE: Author	DATE: 12/5/2017

SLAB PLAN

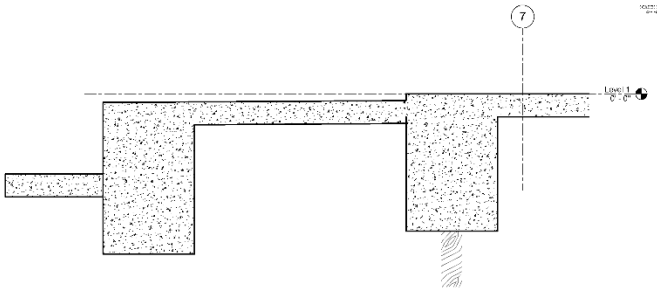
PROJECT NO.	SHEET NO.
77250	S102



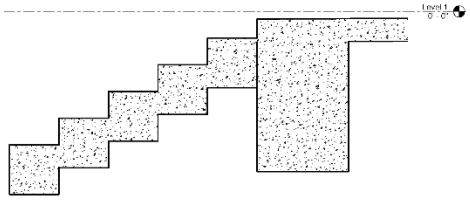
A SECTION
S102 1" = 1'-0"



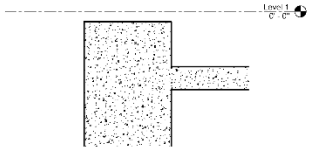
B SECTION
S103 1" = 1'-0"



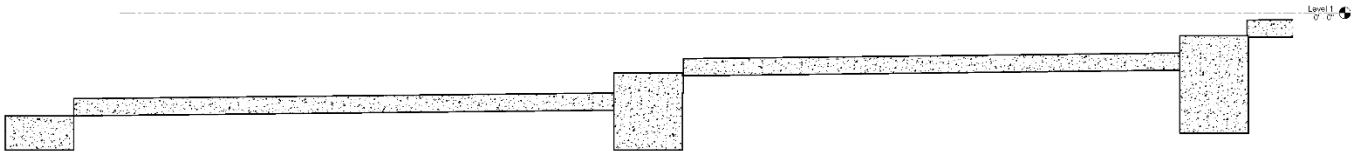
C SECTION
S102 1" = 1'-0"



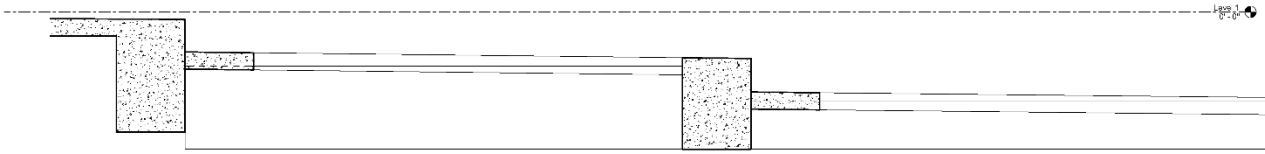
D SECTION
S103 1" = 1'-0"



E SECTION
S103 1" = 1'-0"



F SECTION
S103 3/4" = 1'-0"



F1 SECTION
S102 3/4" = 1'-0"

JULIEN ENGINEERING & CONSULTING

PRELIMINARY
NOT FOR CONSTRUCTION

No.	Description	Date

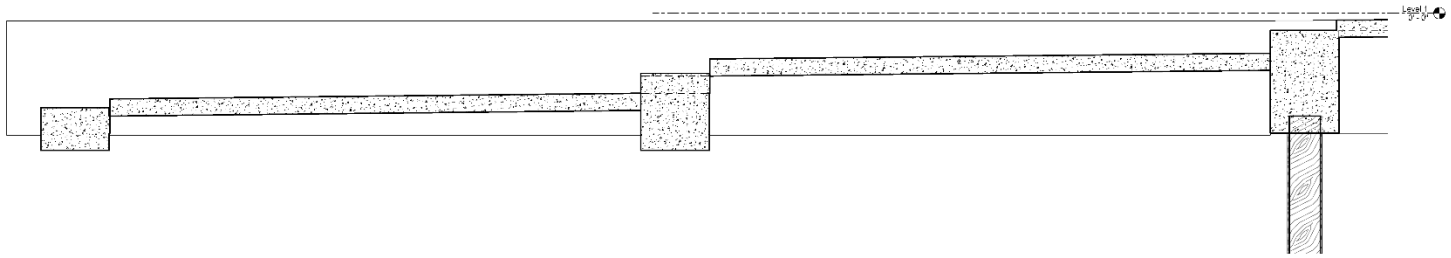
Mathes Brierre ARCHITECTS

FLORIDA DESIRE
MULTI-SERVICE CENTER

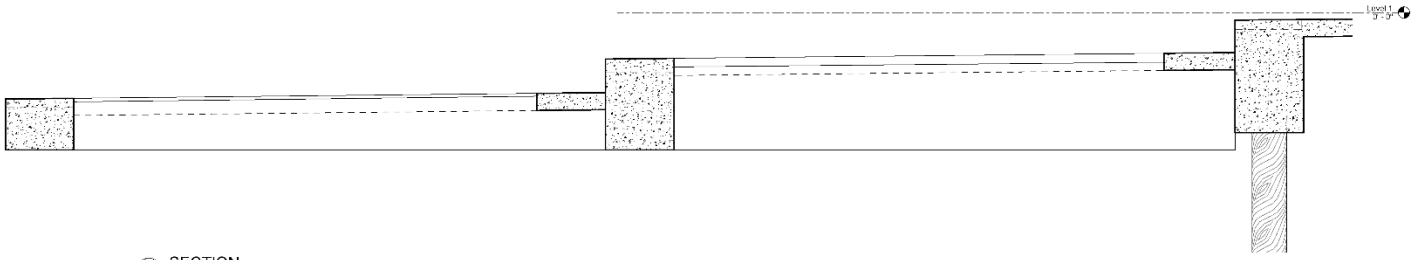
DRAWN BY: Designer	CHECKED BY: Checker
DATE: Author	DATE: 12/5/2017

SHEET TITLE: FOUNDATION SECTIONS

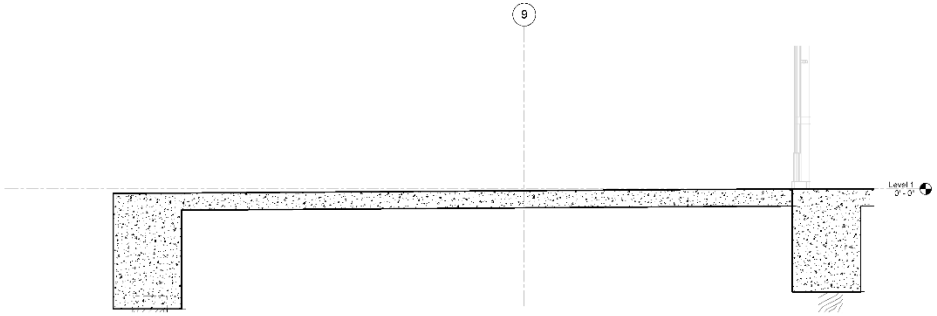
PROJECT NO.	SHEET NO.
77250	S103



A SECTION
S104 3/4" = 1'-0"



A1 SECTION
S104 3/4" = 1'-0"



B SECTION
S104 3/4" = 1'-0"

JULIEN
ENGINEERING & CONSULTING

PRELIMINARY
NOT FOR CONSTRUCTION

No.	Description	Date

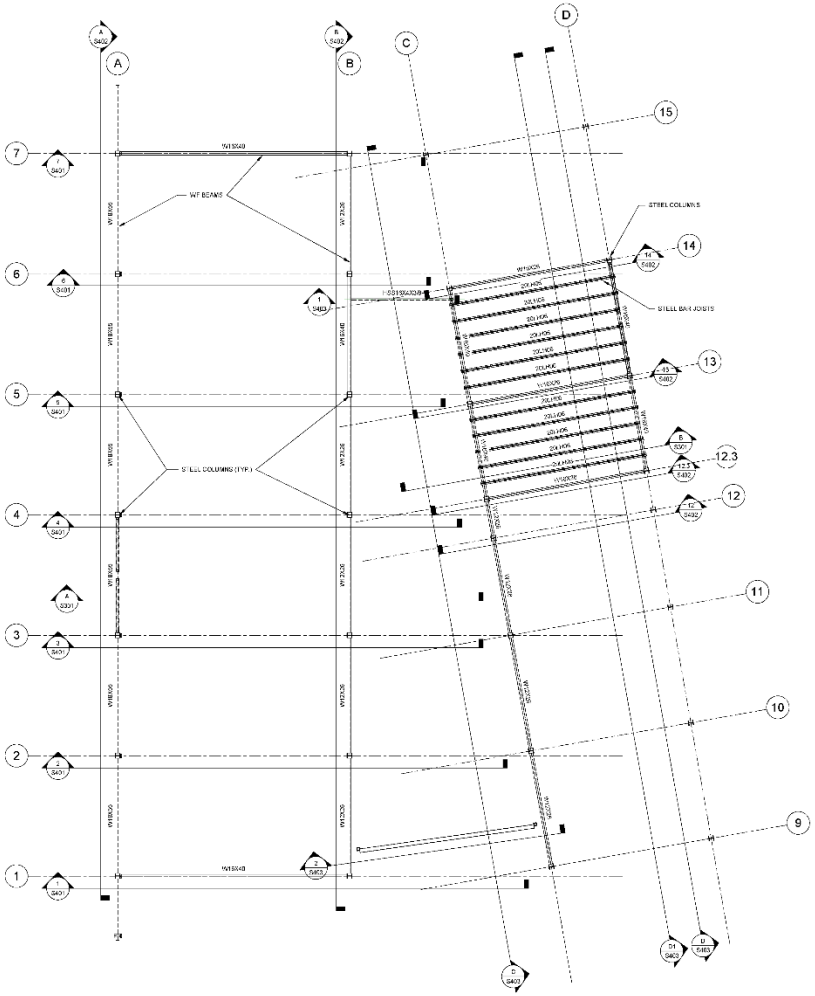
Mathes Brierre
ARCHITECTS

FLORIDA DESIRE
MULTI-SERVICE CENTER

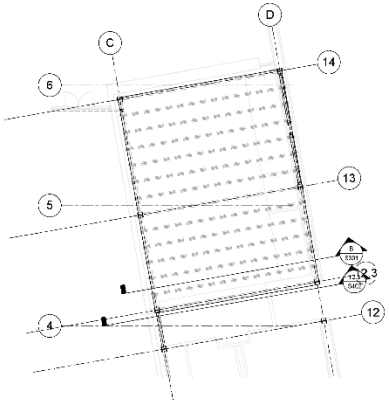
Designer	Checker
Author	12/5/2017

FOUNDATION SECTIONS

77250 | S104



LOW ROOF FRAMING PLAN
S201 1/8" = 1'-0"



LOW ROOF DECK PLAN
S201 1/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

JULIEN ENGINEERING & CONSULTING

No.	Description	Date

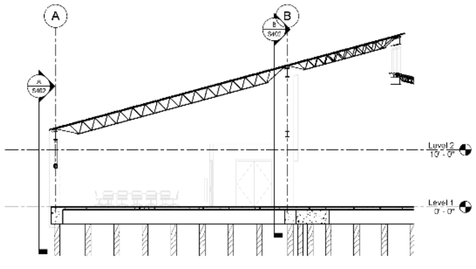
Mathes Brierre ARCHITECTS

FLORIDA DESIRE
MULTI-SERVICE CENTER

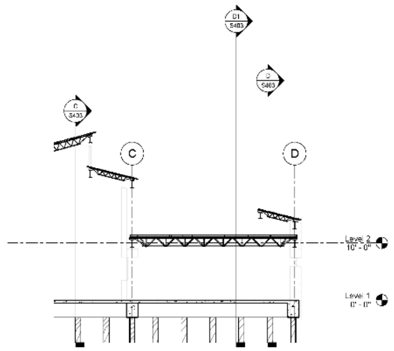
DRAWN BY: Designer	CHECKED BY: Checker
DATE: Author	DATE: 12/5/2017

LOW ROOF FRAMING PLAN

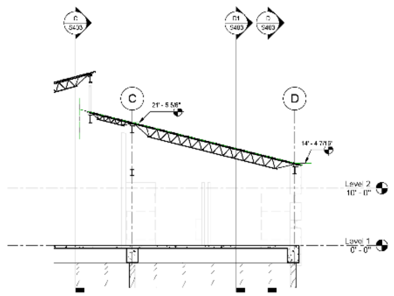
PROJECT NO.	SHEET NO.
77250	S201



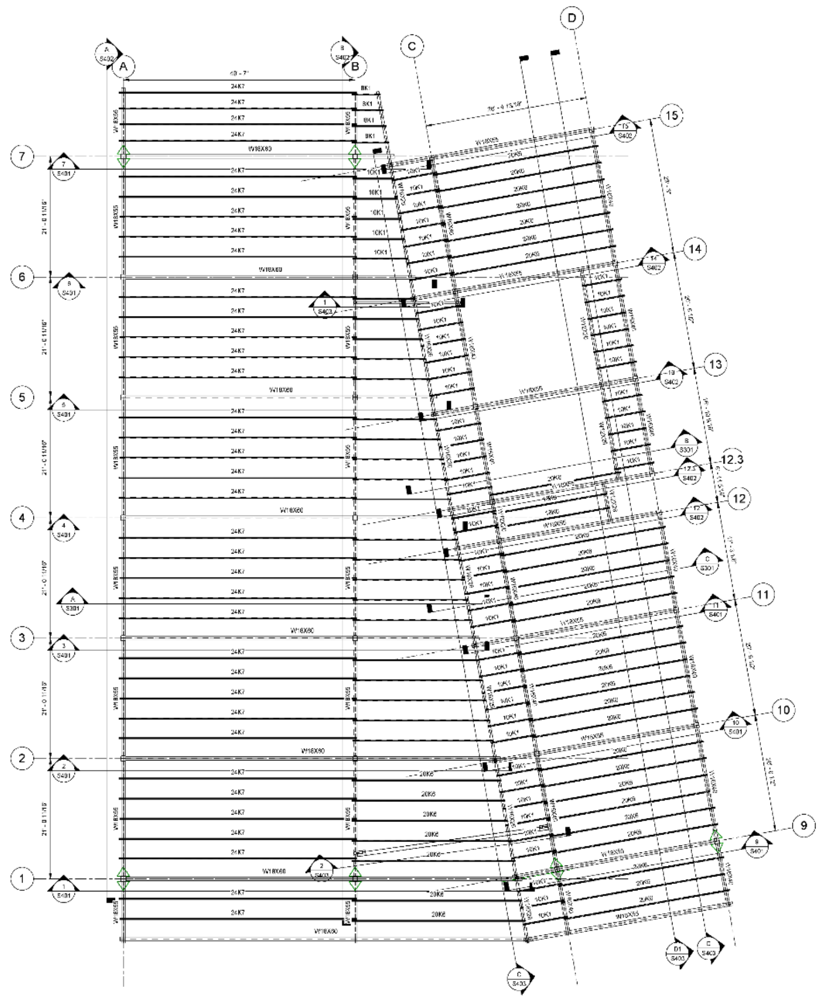
A BUILDING FRAMING SECTION
S301 1/8" = 1'-0"



B BUILDING FRAMING SECTION
S301 1/8" = 1'-0"



C BUILDING FRAMING SECTION
S301 1/8" = 1'-0"



1 ROOF FRAMING PLAN
S301 1/8" = 1'-0"

PRELIMINARY
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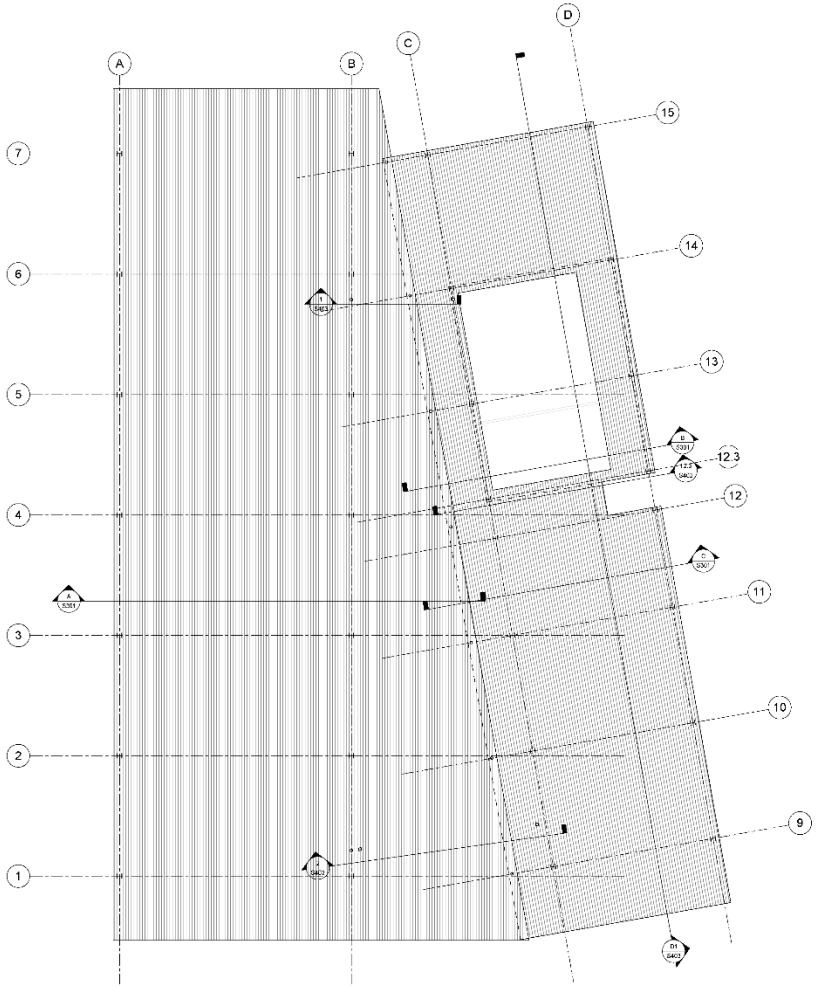
PROJECT TITLE
FLORIDA DESIRE
MULTI-SERVICE CENTER

DESIGNED BY: Designer	CHECKED BY: Checker
DRAWN BY: Author	DATE: 12/15/2017
SHEET TITLE: ROOF FRAMING PLAN	
PROJECT NO.: 77250	SHEET NO.: S301



1 302 - ROOF DECK PLAN
S302 1/8" = 1'-0"

PRELIMINARY
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PROJECT TITLE
FLORIDA DESIRE
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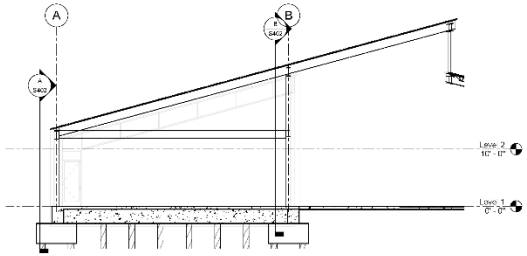
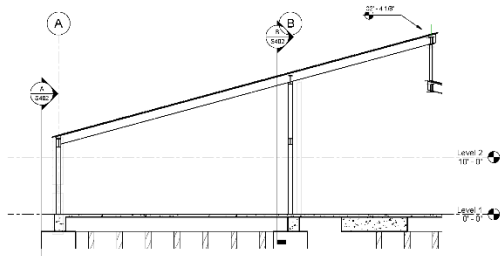
DRAWN BY: Designer	CHECKED BY: Checker
DATE: Author	SCALE: 12/5/2017

SHEET TITLE: ROOF DECK PLAN

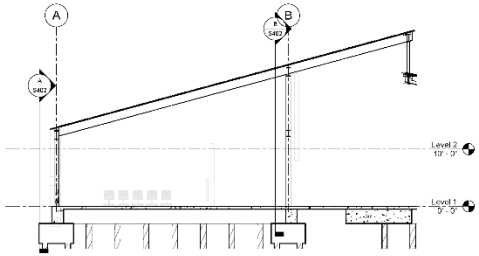
PROJECT NO.	SHEET NO.
77250	S302



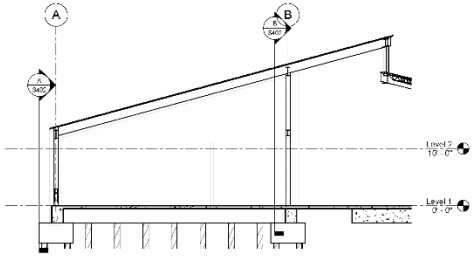
1 Framing Elevation - Grid 1
S401 1/8" = 1'-0"



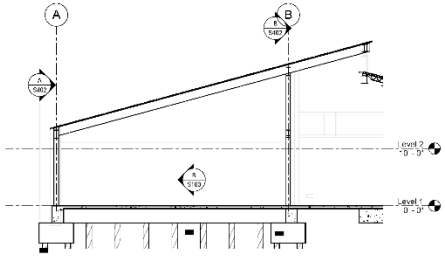
2 Framing Elevation - Grid 2
S401 1/8" = 1'-0"



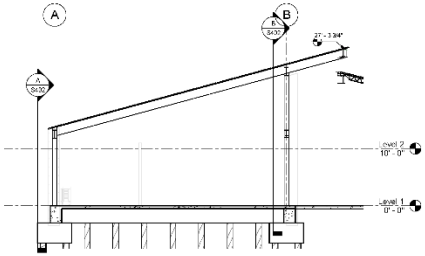
3 Framing Elevation - Grid 3
S401 1/8" = 1'-0"



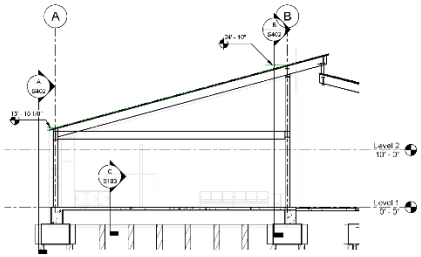
4 Framing Elevation - Grid 4
S401 1/8" = 1'-0"



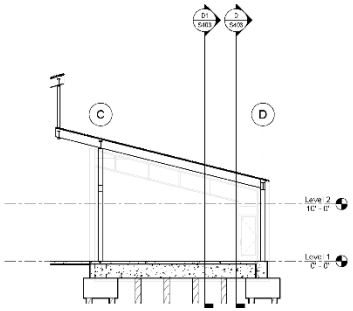
5 Framing Elevation - Grid 5
S401 1/8" = 1'-0"



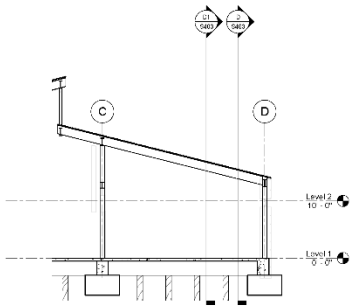
6 Framing Elevation - Grid 6
S401 1/8" = 1'-0"



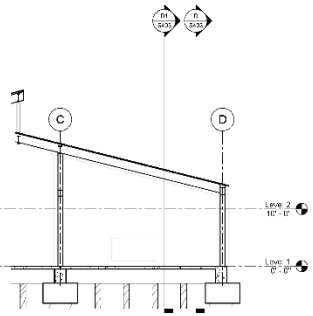
7 Framing Elevation - Grid 7
S401 1/8" = 1'-0"



9 Framing Elevation - Grid 9
S401 1/8" = 1'-0"



10 Framing Elevation - Grid 10
S401 1/8" = 1'-0"



11 Framing Elevation - Grid 11
S401 1/8" = 1'-0"

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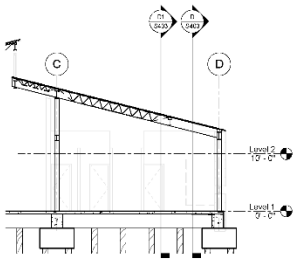
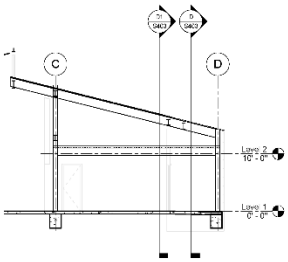
PROJECT TITLE
FLORIDA DESIRE
MULTI-SERVICE CENTER

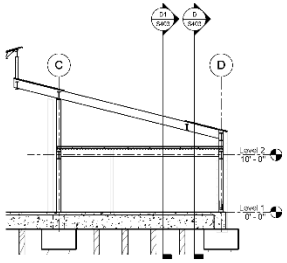
DRAWN BY: Designer	CHECKED BY: Checker
DESIGNED BY: Author	DATE: 12/5/2017
SHEET TITLE: FRAMING ELEVATIONS	
PROJECT NO. 77250	SHEET NO. S401



12 Framing Elevation - Grid 12
S402 1/8" = 1'-0"



12.3 Framing Elevation - Grid 12.3
S402 1/8" = 1'-0"



13 Framing Elevation - Grid 13
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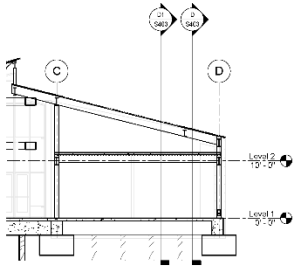

14 Framing Elevation - Grid 14
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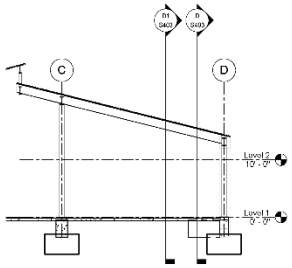
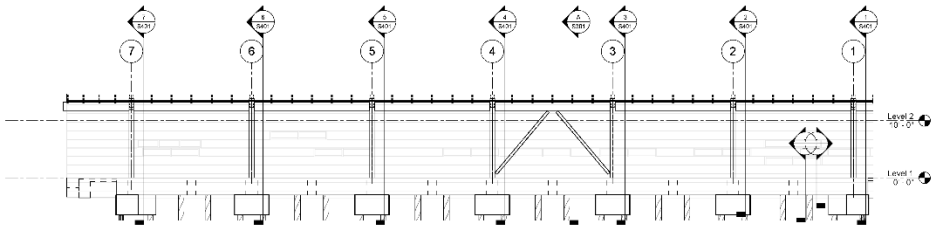
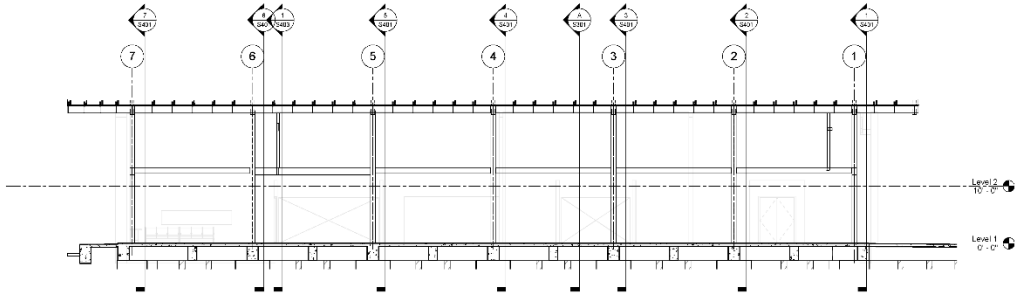


15 Framing Elevation - Grid 15
S402 1/8" = 1'-0"



A Framing Elevation - Grid A
S402 1/8" = 1'-0"



B Framing Elevation - Grid B
S402 1/8" = 1'-0"

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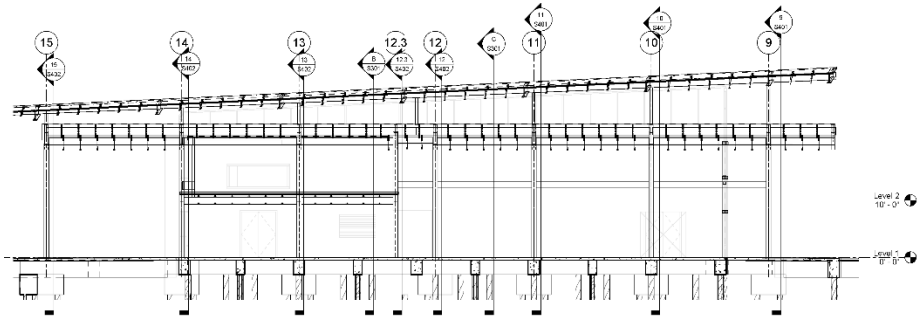
FLORIDA DESIRE
MULTI-SERVICE CENTER

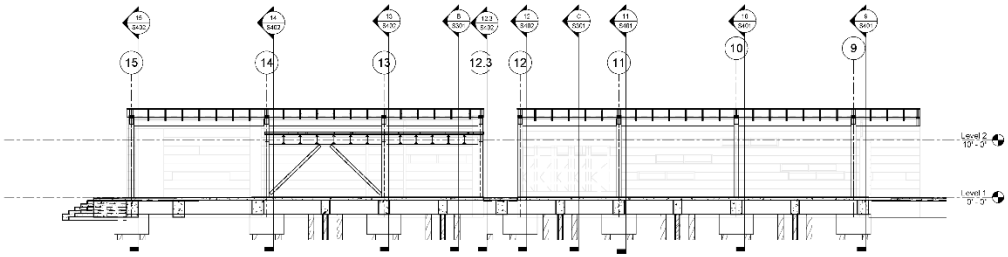
DRAWN BY: Designer	CHECKED BY: Checker
DESIGNED BY: Author	DATE: 12/15/2017

FRAMING ELEVATIONS

PROJECT NO.	SHEET NO.
77250	S402



C Framing Elevation - Grid C
S403 1/8" = 1'-0"



D Framing Elevation - Grid D
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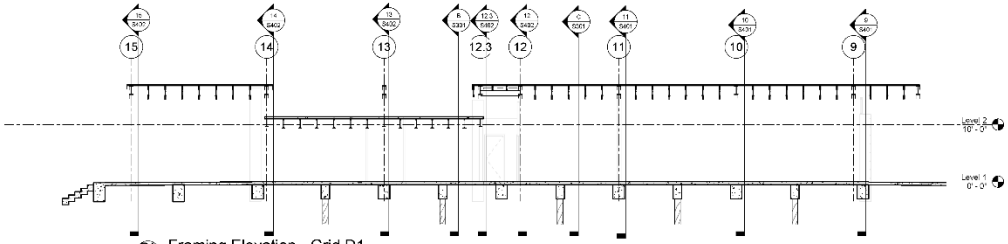
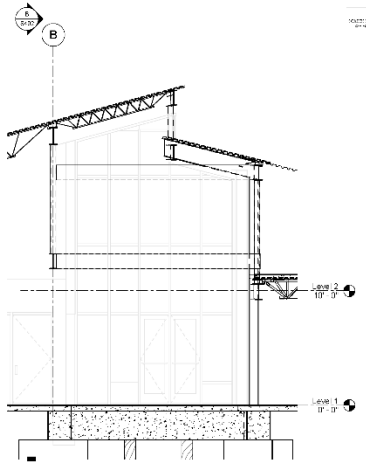
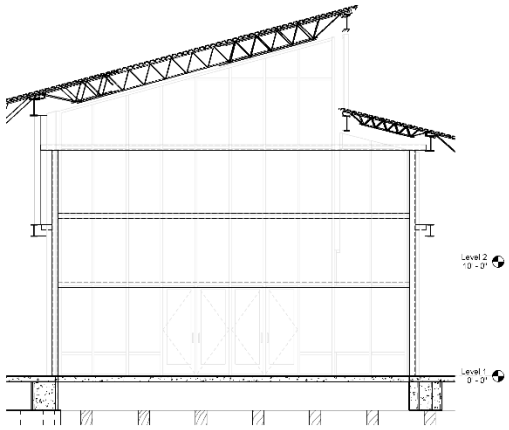


D1 Framing Elevation - Grid D1
S403 1/8" = 1'-0"



1 403-1 - Curtain Wall North Entrance
S403 1/4" = 1'-0"



2 403-2 - Curtain Wall - South Entrance
S403 1/4" = 1'-0"

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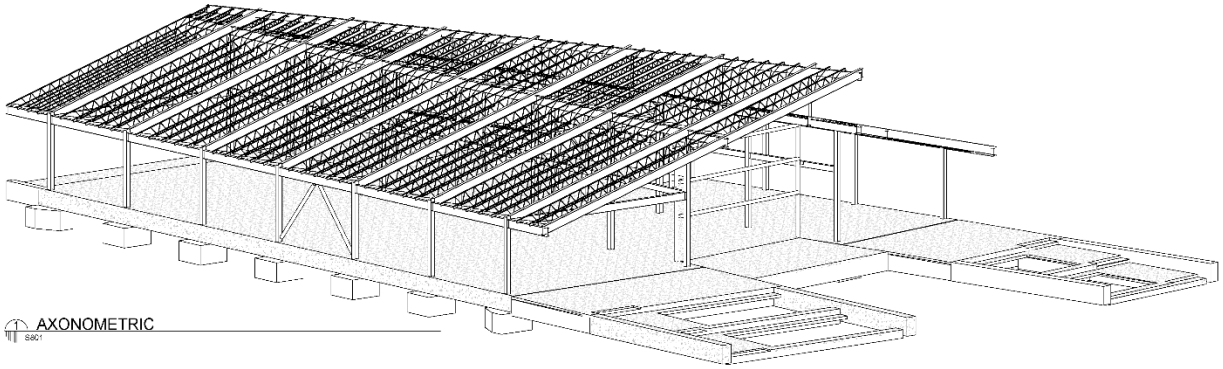
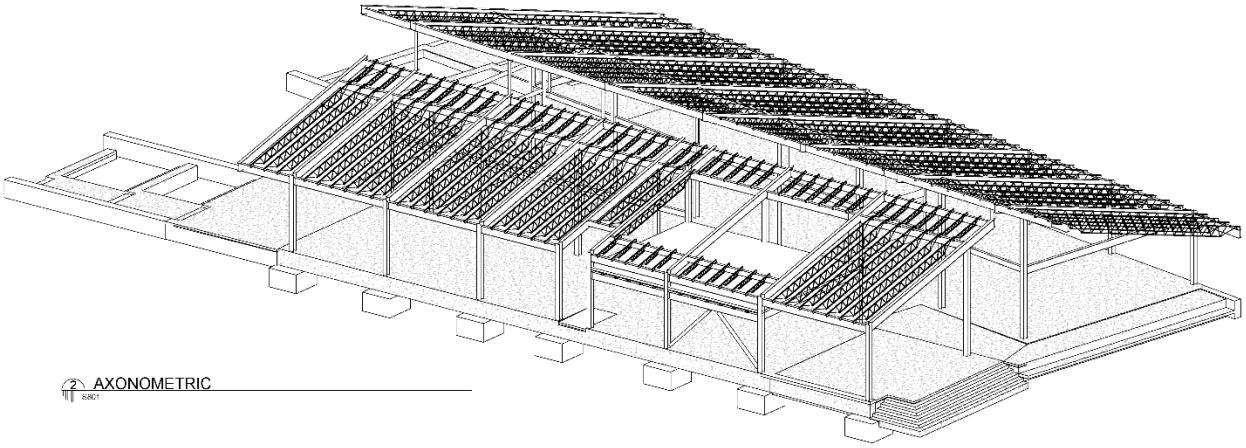
FLORIDA DESIRE
MULTI-SERVICE CENTER

No.	Description	Date

DRAWN BY: Designer
CHECKED BY: Checker
DESIGNED BY: Author
DATE: 12/15/2017
SHEET TITLE: FRAMING ELEVATIONS
PROJECT NO. 77250
SHEET NO. S403



1 AXONOMETRIC
S801



2 AXONOMETRIC
S801

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MULTI-SERVICE CENTER

Designer	Checker
Author	12/5/2017

AXONOMETRICS

77250 | S801

GENERAL NOTES

1) MATERIALS, EQUIPMENT, AND SYSTEMS SHALL MEET ALL PERTINENT REQUIREMENTS OF THE UNDERWRITERS LABORATORY (UL), THE 2009 INTERNATIONAL MECHANICAL CODE, THE 2000 LOUISIANA STATE PLUMBING CODE, AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERS (ASHRAE), SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), AND OTHER NATIONALLY RECOGNIZED AGENCIES AS WELL AS APPLICABLE LOCAL CODES.

2) BIDDERS SHALL BE LICENSED CONTRACTORS IN ACCORDANCE WITH LOCAL AND STATE LAWS.

3) BIDDERS SHALL THOROUGHLY ACQUAINT THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THEY SHALL EXAMINE ALL SERVICES, EQUIPMENT, SURFACES, ETC., WHICH THIS WORK IS IN ANY WAY DEPENDENT UPON, AND BRING ANY DISCREPANCIES DETERMINED OR OMISSIONS FOUND IN THE DRAWINGS TO THE OWNER'S ATTENTION BEFORE SUBMITTING BID. VERIFY ALL DIMENSIONS BY FIELD MEASUREMENTS.

4) THE SYSTEMS SHOWN ON THE DRAWINGS SHALL BE PROVIDED TO SERVE ALL FIXTURES, EQUIPMENT, AND AREAS WITHIN THE CONTRACT LIMIT LINES AS SET FORTH BY THE ARCHITECTURAL SOLUTION FOR THE PROJECT. THE BIDDING AND CONTRACT REQUIREMENTS, GENERAL REQUIREMENTS, AND GENERAL PROVISIONS SHALL APPLY TO THIS SECTION. SYSTEMS SHALL INCLUDE ALL EQUIPMENT, APPURTENANCES, SAFETY DEVICES, AND CONTROLS NECESSARY FOR THE INTENDED SERVICE.

5) ALL PERMITS AND FEES REQUIRED FOR THIS WORK SHALL BE SECURED AND PAID FOR BY THE MECHANICAL CONTRACTOR AND INCLUDED IN BID PRICE.

6) ANYTHING DRAWN OR SPECIFIED ON THESE PLANS SHALL NOT BE CONSTRUED TO CONFLICT WITH ANY LOCAL, MUNICIPAL OR STATE LAW, REGULATION OR ORDINANCE WHICH GOVERNS THE INSTALLATION OF ANY MECHANICAL OR RELATED WORK. WHERE ANY PORTION OF THE SYSTEMS IS NOT INSTALLED AS IN ACCORDANCE WITH APPLICABLE LAWS, ORDINANCES, REGULATIONS AND CODES, THIS CONTRACTOR SHALL MAKE ALL CHANGES REQUIRED BY THE ENFORCING AUTHORITIES IN A MANNER APPROVED BY THE OWNER AND WITHOUT ADDITIONAL COST TO THE OWNER.

7) WHERE JOB CONDITIONS REQUIRE CHANGES FROM THE CONTRACT DOCUMENTS THAT DO NOT CHANGE THE SCOPE OF INSTALLATION OR NATURE OF WORK REQUIRED, THE CONTRACTOR SHALL MAKE SUCH CHANGES WITHOUT ADDITIONAL COST TO THE OWNER. NO OTHER CHANGES MAY BE MADE WITHOUT WRITTEN PERMISSION OF THE OWNER.

8) ALL EQUIPMENT SHALL BE NEW AND UNUSED, UON, AND SHALL BEAR THE LABEL OF AN APPROVED AGENCY. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT CONFORMANCE TO MANUFACTURER'S INSTRUCTIONS, EXCEPT WHERE THESE SPECIFICATIONS REQUIRE A HIGHER QUALITY INSTALLATION THAN RECOMMENDED BY MANUFACTURER. ALL MECHANICAL EQUIPMENT SHALL BE PROVIDED WITH INSTALLATION INSTRUCTIONS, WHICH SHALL BE MADE AVAILABLE AT THE JOB SITE.

9) ALL INSTALLED SYSTEMS, DEVICES AND RELATED ITEMS SHALL BE TESTED IN PLACE ON SITE. REPLACE ANY AND ALL DEFECTIVE DEVICES, ITEMS OR SYSTEMS AT CONTRACTOR'S OWN EXPENSE BEFORE COMPLETION OF THE PROJECT.

10) CONTRACTOR SHALL GUARANTEE ALL WORK FOR WHICH MATERIALS ARE FURNISHED, FABRICATED OR FIELD ERECTED, ALL FACTORY ASSEMBLED EQUIPMENT FOR WHICH NO SPECIFIC MANUFACTURER'S GUARANTEE IS FURNISHED, AND ALL WORK IN CONNECTION WITH INSTALLING MANUFACTURER'S GUARANTEED EQUIPMENT. THIS CONTRACTOR'S GUARANTEE SHALL EXIST FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL OWNER ACCEPTANCE OF THE WORK AND SHALL APPLY TO DEFECTS IN MATERIAL AND TO DEFECTIVE WORKMANSHIP OF ANY KIND.

11) CONTRACTOR SHALL REPLACE AT CONTRACTOR'S OWN EXPENSE ANY CONTRACTOR SUPPLIED MATERIALS, EQUIPMENT AND RELATED ITEMS THAT FAIL OR ARE FOUND TO BE DEFECTIVE WITHIN THE GUARANTEE PERIOD.

12) ARRANGE FOR CHASES, SLOTS, AND OPENINGS IN OTHER BUILDING COMPONENTS TO ALLOW FOR MECHANICAL INSTALLATIONS. COORDINATE THE INSTALLATION OF REQUIRED SUPPORTING DEVICES AND SLEEVES TO BE SET IN POURED IN PLACE CONCRETE AND OTHER STRUCTURAL COMPONENTS, AS THEY ARE CONSTRUCTED. COORDINATE THE CUTTING AND PATCHING OF BUILDING COMPONENTS TO ACCOMMODATE INSTALLATION OF MECHANICAL EQUIPMENT AND MATERIALS.

13) SEQUENCE, COORDINATE, AND INTEGRATE INSTALLATIONS OF MECHANICAL MATERIALS AND EQUIPMENT FOR EFFICIENT FLOW OF THE WORK.

14) COORDINATE MECHANICAL EQUIPMENT AND MATERIALS INSTALLATION WITH OTHER BUILDING COMPONENTS. COORDINATE THE INSTALLATION OF MECHANICAL MATERIALS AND EQUIPMENT ABOVE CEILINGS WITH SUSPENSION SYSTEM, LIGHT FIXTURES, AND OTHER INSTALLATIONS.

15) EQUIPMENT LOCATIONS, ROOF & WALL OPENINGS ARE APPROXIMATE; VERIFY SIZE AND COORDINATE WITH G.C., EQUIPMENT SUPPLIER, AND OWNER. PROVIDE STEEL FRAMING AROUND ROOF OPENING(S) WHERE REQUIRED AND AROUND WALL OPENING(S) WHERE REQUIRED.

16) DO NOT ENDANGER OR DAMAGE INSTALLED WORK THROUGH PROCEDURES AND PROCESSES OF CUTTING AND PATCHING. ARRANGE FOR REPAIRS REQUIRED TO RESTORE OTHER WORK, BECAUSE OF DAMAGE CAUSED AS A RESULT OF MECHANICAL INSTALLATIONS.

17) WHERE MOUNTING HEIGHTS ARE NOT DETAILED OR DIMENSIONED, INSTALL MECHANICAL SERVICES AND OVERHEAD EQUIPMENT TO PROVIDE THE MAXIMUM HEADROOM POSSIBLE.

18) INSTALL MECHANICAL EQUIPMENT TO FACILITATE MAINTENANCE AND REPAIR OR REPLACEMENT OF EQUIPMENT COMPONENTS. AS MUCH AS PRACTICAL, CONNECT EQUIPMENT FOR EASE OF DISCONNECTING, WITH MINIMUM OF INTERFERENCE WITH OTHER INSTALLATIONS.

19) FOR ALL AIR SYSTEMS: ADJUST FANS, SUPPLY REGISTER DAMPERS, AND DUCT VOLUME DAMPERS AS NEEDED TO BALANCE ALL DUCTWORK TO MATCH CFM LISTED.

20) THE ENTIRE INSTALLATION, INCLUDING THE GAUGES OF DUCTWORK, SHALL BE IN STRICT COMPLIANCE WITH SMACNA STANDARDS, EXCEPT WHERE THESE SPECIFICATIONS REQUIRE A STRICTER INSTALLATION STANDARD. SYSTEM IS 1" PRESSURE CLASS, UON. ALL DUCTS SHALL BE SEALED TO MEET SMACNA CLASS C REQUIREMENTS MINIMUM, AND SHALL BE SUPPORTED AT INTERVALS NOT EXCEEDING 10'. SEALANT SHALL COMPLY WITH UL STANDARD 181.

21) ALL SQUARE THROAT, 90 DEGREE MITERED DUCT ELBOWS SHALL HAVE TURNING VANES AT 2" SPACING THAT ARE EXTENDED IN THE DIRECTION OF AIRFLOW PER SMACNA. ALL DUCT TRANSITIONS SHALL BE SMOOTH (30 DEGREE TAPER MAXIMUM), NOT ABRUPT.

22) ALL SUPPLY AND RETURN AND OUTSIDE AIR DUCTS SHALL BE INSULATED WITH AT LEAST 1-1/2" FIBERGLASS DUCT INSULATION. ALL DUCTWORK OUTSIDE THE BUILDING INSULATION SHALL BE INSULATED WITH 2" FIBERGLASS MINIMUM. INSULATION SHALL BE FIBERGLASS WRAP WITH SCRIM REINFORCED FOIL BACKING. SEAL ALL JOINTS AND PUNCTURES TO PRESERVE VAPOR BARRIER.

23) DUCT SMOKE DETECTORS AND ACCESSORIES SHALL BE UL TESTED AND LISTED. EQUIPMENT AND INSTALLATION SHALL MEET ALL PERTINENT REQUIREMENTS OF THE MECHANICAL CODE AND NFPA 72. DUCT SMOKE DETECTORS LOCATED MORE THAN 10 FT ABOVE THE FINISHED FLOOR, OR LOCATED SUCH THAT THE DETECTOR'S ALARM INDICATOR IS NOT VISIBLE TO RESPONDING PERSONNEL, SHALL BE PROVIDED WITH REMOTE ALARM INDICATORS. EACH REMOTE INDICATOR SHALL BE CLEARLY LABELED AS TO FUNCTION AND AIR HANDLING UNIT SERVED, WITH AN ACRYLIC ENGRAVED NAMEPLATE.

24) ALL DIFFUSERS AND GRILLES SHALL BE FACTORY FINISHED WHITE.

25) ALL MECHANICAL EQUIPMENT SHALL HAVE VIBRATION ISOLATORS, AS WELL AS FLEXIBLE DUCT CONNECTORS. FLEXIBLE CONNECTORS SHALL BE UL 181 TESTED AND LABELED, AND SHALL NOT EXCEED 14" IN LENGTH.

26) ALL DUCT COVERINGS, LININGS, TAPE AND VIBRATION ISOLATION CONNECTORS SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25, AND A MAXIMUM SMOKE GENERATION RATING OF 50.

27) ALL DUCT DIMENSIONS LISTED ON PLANS ARE INSIDE CLEAR DIMENSIONS.

28) FLEXIBLE DUCTS SHALL NOT EXCEED 10' IN LENGTH, NOR SHALL THEY BE INSTALLED WHERE THEY MUST BE FLATTENED. FLEXIBLE DUCTS SHALL BE UL 181 TESTED AND LABELED, AND MUST BE FASTENED PER SMACNA STANDARDS. IF SUCH CONDITIONS DO NOT PERMIT PROPER INSTALLATION OF FLEXIBLE DUCT, RECTANGULAR GALVANIZED STEEL DUCT WITH EQUAL FREE AREA SHALL BE USED INSTEAD.

29) PROVIDE VOLUME DAMPERS AT EACH BRANCH OFF OF A TRUNK DUCT TO A SUPPLY DIFFUSER.

30) ALL AIR HANDLERS, CONDENSERS, CONTROL DEVICES AND OTHER MECHANICAL APPARATUS SHALL BE CLEARLY MARKED FOR EASY IDENTIFICATION AND SAFETY. USE BLACK PLASTIC OR BAKELITE NAME PLATE ENGRAVED WITH WHITE LETTERS 1/4" HIGH. PUNCHED TAPE IS NOT ACCEPTABLE.

31) MECHANICAL CONTRACTOR SHALL FURNISH RECORD SET OF DRAWINGS WITH ANY DEVIATIONS MARKED IN RED INK.

MECHANICAL SYMBOLS

SYMBOL	DESCRIPTION
⊠	DUCT SECTION UP, POSITIVE PRESSURE
◸	DUCT SECTION UP, NEGATIVE PRESSURE
⊠	DUCT SECTION DOWN, POSITIVE PRESSURE
◺	DUCT SECTION DOWN, NEGATIVE PRESSURE
12/6	GALVANIZED STEEL DUCT, 1ST NUMBER IS SIDE SHOWN (IN INCHES)
4"	ROUND FLEXIBLE DUCT, SIZE IN INCHES
SD	SMOKE DETECTOR
T	THERMOSTAT
BDD	BACKDRAFT DAMPER
	MANUAL VOLUME DAMPER
CD 275	SUPPLY DIFFUSER, CFM AS NOTED
CG 275	RETURN/EXH GRILLE, CFM AS NOTED
LVR	LOUVER, SIZE AS INDICATED
	TURNING VANES, EXTENDED IN DIRECTION OF FLOW AND LOCATED 2" ON CENTER
FD	FIRE DAMPER WITH ACCESS PANEL
	RECTANGULAR TO ROUND DUCT TRANSITION
	DUCT ELEVATION CHANGE (RISE/DROP)
	DUCT TRANSITION
	STANDARD TAP (BRANCH) DUCT TAKEOFF WITH MANUAL VOLUME DAMPER
(1)—	NUMBERED NOTES
AC	AIR CONDITIONING UNIT
AFF	ABOVE FINISHED FLOOR
BDD	BACKDRAFT DAMPER
BHP	BRAKE HORSE POWER
BOD	BOTTOM OF DUCT
BTU	BRITISH THERMAL UNIT
CD	CEILING DIFFUSER
CFM	CUBIC FEET PER MINUTE
CG	CEILING GRILLE
EC	ELECTRICAL CONTRACTOR
EF	EXHAUST FAN
ESP	EXTERNAL STATIC PRESSURE
EXH	EXHAUST
FD	FIRE DAMPER
FLA	FULL LOAD AMPS
GC	GENERAL CONTRACTOR
HP	HORSE POWER
HTR	ELECTRIC HEATER
KW	KILOWATT
L	LOUVER
MBH	THOUSAND BRITISH THERMAL UNITS
MC	MECHANICAL CONTRACTOR
MOD	MOTOR OPERATED DAMPER
MVD	MANUAL VOLUME DAMPER
NC	NOISE CRITERIA
OA	OUTSIDE AIR
RA	RETURN AIR
RTU	ROOF TOP UNIT
SA	SUPPLY AIR
SCC	SENSIBLE COOLING CAPACITY
SP	STATIC PRESSURE
TCC	TOTAL COOLING CAPACITY
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE

EXHAUST FANS

ID	BASIS FOR DESIGN	CFM	ESP	SONES	DRIVE	DIMENSIONS	WEIGHT	SERVES	MOTOR DATA				NOTES
									WATTS	VOLT	PH	RPM	
EF-1	GREENHECK MODEL CSP-A700	250	0.25	1.1	DIRECT	12X12X12H	24	WOMEN'S TOILET	55W	115	1	940	1,2,4,5,6
EF-2	GREENHECK MODEL CSP-A700	200	0.25	1.4	DIRECT	12X12X12H	24	MEN'S TOILET	70W	115	1	940	1,2,4,5,6
EF-3	GREENHECK SP-A200	200	0.25	1.4	DIRECT	12X12X12H	20	IT ROOM	30W	115	1	928	1,3,4,5,6

NOTES:
1. PROVIDE FAN WITH INTEGRAL BACKDRAFT DAMPER.
2. FAN SHALL BE SWITCHED WITH LIGHTS.
3. FAN SHALL BE CONTROLLED VIA A LINE VOLTAGE WALL MOUNTED THERMOSTAT. SET STAT TO 85°F.
4. SUSPEND FAN FROM STRUCTURE WITH SPRING TYPE VIBRATION ISOLATION, MAXIMUM DEFLECTION 3/4".
5. PROVIDE MANUFACTURER'S DISCONNECT.
6. PROVIDE FAN WITH MANUFACTURER'S SOLID STATE SPEED CONTROLLER FOR BALANCING. INSTALL AT FAN.

DIFFUSERS AND GRILLES

ID	CFM	NO.	OVERALL	NECK	SLOT WIDTH (IN)	NO. SLOTS	MOUNTING	MATERIAL	OB	TR	FD	DESCRIPTION
CD-A	00-145	25	12X12	8X8	-	-	PLASTER FRAME	ALUMINUM	Y	N	N	TITUS TMS SQUARE CEILING DIFFUSER
RGC-A	0200	20	48X48	46X46	3/4"	-	PLASTER FRAME	STEEL	N	Y	N	TITUS 1/2RS AEROBLADE RETURN GRILLE
CG-A	200-300	30	24X24	10X8			PLASTER FRAME	ALUMINUM	N	Y	N	[illegible] PERFORATED CEILING GRILLE

ABBREVIATIONS: OB - OPPOSED BLADE ALUMINUM DAMPER
TR - SQUARE TO ROUND NECK TRANSITION
FD - FIRE DAMPER ASSEMBLY WITH RADIATION BLANKET

NOTES: 1. ALL DIFFUSERS, REGISTERS, AND GRILLES SHALL BE FACTORY WHITE FINISH UNO

WALL HEATERS

ID	BASIS FOR DESIGN	WATTAGE	MAX BTUS	VOLTS	MAX AMPS	SERVES
HTR-1	MODEL RX300TDWS	1500	5120	120	12.5	WOMEN'S RESTROOM
HTR-2	MODEL RX300TDWS	1500	5120	120	12.5	MEN'S RESTROOM
HTR-3	MODEL LX300 2DWS	1500	5120	120	12.5	NAPOLEON ENTRANCE
HTR-4	MODEL LX300 2DWS	1500	5120	120	12.5	EAST EXIT

NOTES: 1. INSTALL WALL HEATER LEVEL AND RECESSED IN WALL WITH MANUFACTURER'S RECESSED MOUNTING KIT.
2. CONTROL HEATER VIA INTEGRAL THERMOSTAT. SET THERMOSTAT TO 62°F.

AIR HANDLING UNIT

ID	BASIS FOR DESIGN	CFM	OA	ESP	CONFIG	COOLING CAPACITY			DIMENSIONS	SERVES
						TC MBH	SC MBH	EER		
RTU-1	TSH210	6800	1395	1.4	HORIZONTAL	190.3	151.4	11	120"X88"X57"H	WEST SIDE
RTU-2	TPH-330R4	8000	1405	1.4	HORIZONTAL	305	211	11	180"X81"X57"H	MAIN HALL/EASTSIDE

ID	VOLT/PHASE	ELECTRICAL						ELECTRIC HEAT		
		MAX FUSE	MCA	COMP. 1 RLA	COMP. 2 RLA	EVAP FAN FLA	COND FAN FLA	KW	STAGES	FLA
RTU-1	460/3/60	90.0	70.0	14.7	0.0	5.0	1.95	54	2	72.9
RTU-2	460/3/60			21.0	19.0	8.4	3.5	72	1	86.8

NOTES:
1. INSTALL UNIT ON MANUFACTURER'S ROOF CURB.
2. PROVIDE AND INSTALL TRAP ON CONDENSATE DISCHARGE. DRAIN CONDENSATE TO STORM.
3. PROVIDE AND INSTALL 7-DAY PROGRAMMABLE THERMOSTAT WITH FAN ON AUTO/ON SWITCH AND HEAT/COOL SWITCH.
4. UNIT SHALL BE CONFIGURED FOR R410A REFRIGERANT.
5. PROVIDE UNIT WITH 2" DISPOSABLE FILTERS WITH A MINIMUM RATING OF MERV 8.
6. PROVIDE UNITS WITH THE FOLLOWING:
SINGLE POINT POWER CONNECTION
RETURN AIR SMOKE DETECTOR
LOUVERED HAIL GUARDS
ECONOMIZER WITH RETURN DAMPER
THROUGH CURB ELECTRICAL CONNECTIONS

No.	Description	Date

KEY PLAN

Infinity Engineering Consultants, LLC
CIVIL
STRUCTURAL
MECHANICAL
ELECTRICAL
MARINE

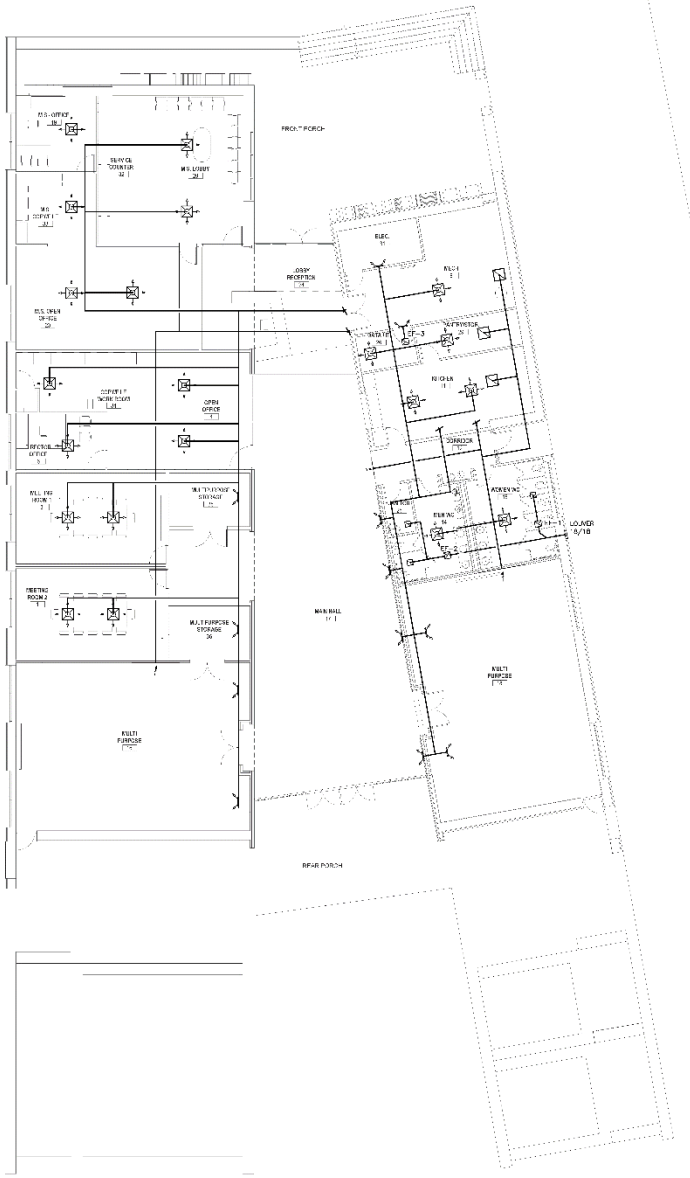
PROJECT TITLE:

FLORIDA DESIRE

THESE PLANS HAVE BEEN PREPARED UNDER THE SUPERVISION OF MICHAEL P. LEITZINGER, PE (LA NO. 34903) IN THE OFFICE OF INFINITY ENGINEERING CONSULTANTS, LLC.

PRELIMINARY
FOR REVIEW ONLY
DECEMBER 14, 2017

DESIGNED BY: | CHECKED BY: M. LEITZINGER
DRAWN BY: T. O'QUINN | DATE:
SHEET TITLE: MECHANICAL GENERAL NOTES & SCHEDULES
PROJECT NO.: 77250 | SHEET NO.: M100



MECHANICAL FLOOR PLAN

SCALE: 1/8" = 1'-0"

0 4' 8 16'

SCALE: 1/8" = 1'-0"

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PRELIMINARY FOR REVIEW ONLY

DECEMBER 14, 2017

No.	Description	Date

Infinity Engineering Consultants, LLC

PROJECT TITLE:

FLORIDA DESIRE

DESIGNED BY: M. LEITZINGER

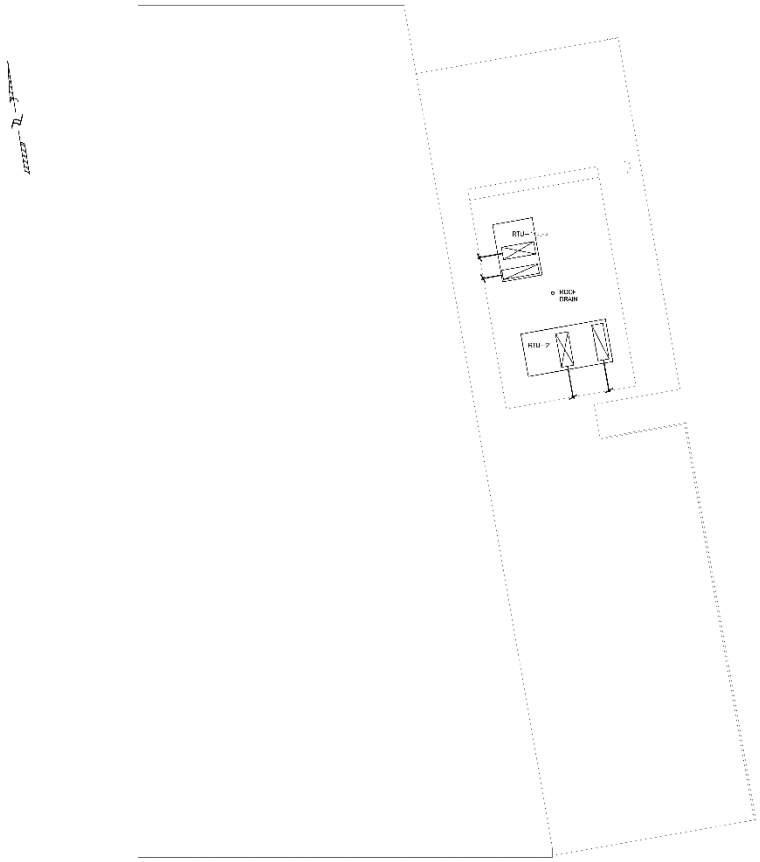
DRAWN BY: T. O'QUINN

DATE:

SHEET TITLE: MECHANICAL FLOOR PLAN

PROJECT NO.: 77250

SHEET NO.: M200



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No.	Description	Date

REVISIONS

Infinity Engineering Consultants, LLC

CIVIL
STRUCTURAL
MECHANICAL
ELECTRICAL
PLUMBING

PROJECT TITLE

FLORIDA DESIRE

DESIGNED BY: M. LEITZINGER
DRAWN BY: T. O'QUINN
DATE
SHEET TITLE: MECHANICAL ROOF PLAN
PROJECT NO: 77250
SHEET NO: M201

GENERAL PLUMBING NOTES

1. [illegible]
2. BIDDERS SHALL BE LICENSED CONTRACTORS IN ACCORDANCE WITH LOCAL AND STATE LAWS.
3. [illegible]
4. [illegible]
5. [illegible]
6. [illegible]
7. ALL PIPING FOR PLUMBING SYSTEMS SHALL BE PROVIDED TO APPEAR AS CLEAN AS POSSIBLE WITHIN THE CONSTRUCTION. [illegible]
8. ANY AND ALL DRAWINGS BASED ON CLASS PLANS BY ARCHITECT SHALL BE TO COMPLY WITH ALL LOCAL, MUNICIPAL, OR STATE AND FEDERAL LAWS OR ORDINANCES. [illegible]
9. [illegible]
10. [illegible]
11. [illegible]
12. [illegible]
13. [illegible]
14. [illegible]
15. [illegible]
16. [illegible]
17. [illegible]
18. [illegible]
19. [illegible]
20. [illegible]
21. [illegible]
22. [illegible]
23. [illegible]
24. [illegible]
25. [illegible]
26. ALL COLD WATER SUPPLY PIPE TO WALLS SHALL BE ALL HOT WATER SUPPLY PIPE AND STUBBED SHALL BE INSULATED WITH SUPERMALLOY INSULATION WITH MATERIAL TO MEET ASTM STANDARDS. [illegible]
27. ALL PIPE TO BE PROVIDED WITH ALL NECESSARY FITTINGS COMPLETE. [illegible]
28. ALL VENTS SHALL BE PROVIDED WITH ALL NECESSARY FITTINGS COMPLETE. [illegible]
29. ALL PIPE TO BE PROVIDED WITH ALL NECESSARY FITTINGS COMPLETE. [illegible]
30. ALL ABOVE GROUND WATER SUPPLY PIPE SHALL BE WELDED PIPE. [illegible]
31. [illegible]
32. ALL CONDENSATE DRAINAGE LINES TO BE 1 IN DIAMETER AND OVER SHALL BE SLOPED AT 1/8 PER FOOT MINIMUM, UNLESS OTHERWISE NOTED. [illegible]
33. PLUMBING CONTRACTOR SHALL FURNISH RECORD SET OF DRAWINGS WITH ANY DEVIATIONS MARKED AS REQUIRED.

PLUMBING LEGEND

	COLD WATER SUPPLY
	HOT WATER SUPPLY
	COLD WATER RETURN
	HOT WATER RETURN
	NATURAL GAS PIPE
	DRAIN
	VENT
	CLEANOUT
	CAPPED VENT
	BALL VALVE
	TRIP SIMILAR TO
	DRAIN DOWN
	FLOOR DRAIN
	FIRE HYDRANT
	FIRE HOSE BIBB
	FIRE HOSE VALVE
	FIRE PROTECTION
	WALL PENETRATION
BFP	BACK FLOW PREVENTER
CB	CHECK VALVE
CO	CLEANOUT
CP	CAP
MC	FIXTURE MOUNTED CLOCK
MW	FIXTURE MOUNTED WATER
RD	ROOF DRAIN
TD	TRAP DRAIN
BV	BUTTERFLY VALVE
BW	BUTTERFLY
TP	TRIP SIMILAR
SV	SAFETY VALVE
VT	VENT THRU ROOF
V	VENT
W	WASTE

PLUMBING FIXTURE SCHEDULE

SYMBOL	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	DESCRIPTION
WC-1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
LAV	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]

NOTE: [illegible]

ELECTRIC WATER HEATER

ID	BASIS OF DESIGN	STORAGE CAPACITY (GAL)	RECOVERY CAPACITY (GPH @ 90°F RISE)	VOLTAGE	WATTAGE	HP CAPACITANCE (FEET)	WEIGHT (LBS)	LOCATION	NOTES
EWH-1	[illegible]	80	149	120/240	30	9 gal	48	MECH ROOM	[illegible]

ELECTRIC TANKLESS WATER HEATER

ID	ACCEPTABLE MFR'S & REPORM	[illegible]	VOLT	PH	AMP	DESCRIPTION	NOTES
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]

No.	Description	Date

REV. [illegible]

Infinity Engineering Consultants, LLC

[illegible]

PROJECT [illegible]

FLORIDA DESIRE

THESE PLANS HAVE BEEN PREPARED UNDER THE SUPERVISION OF MICHAEL P. LEITZINGER, PE (LIC. NO. 54903) IN THE OFFICE OF INFINITY ENGINEERING CONSULTANTS, LLC.

PRELIMINARY FOR REVIEW ONLY

DECEMBER 14, 2017

DESIGNED BY: M. LEITZINGER
DRAWN BY: T. DOLINK
DATE:
SCALE: NTS
PLUMBING GENERAL NOTES & SCHEDULES
PROJECT NO: 77250
SHEET NO: P100

PLUMBING FLOOR PLAN

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

SCALE: 1/8" = 1'-0"

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PRELIMINARY FOR REVIEW ONLY

DECEMBER 14, 2017

No.	Description	Date

REVISIONS

Infinity Engineering Consultants, LLC

CIVIL STRUCTURAL MECHANICAL ELECTRICAL PLUMBING

PROJECT TITLE

FLORIDA DESIRE

DESIGNED BY M. LEITZINGER

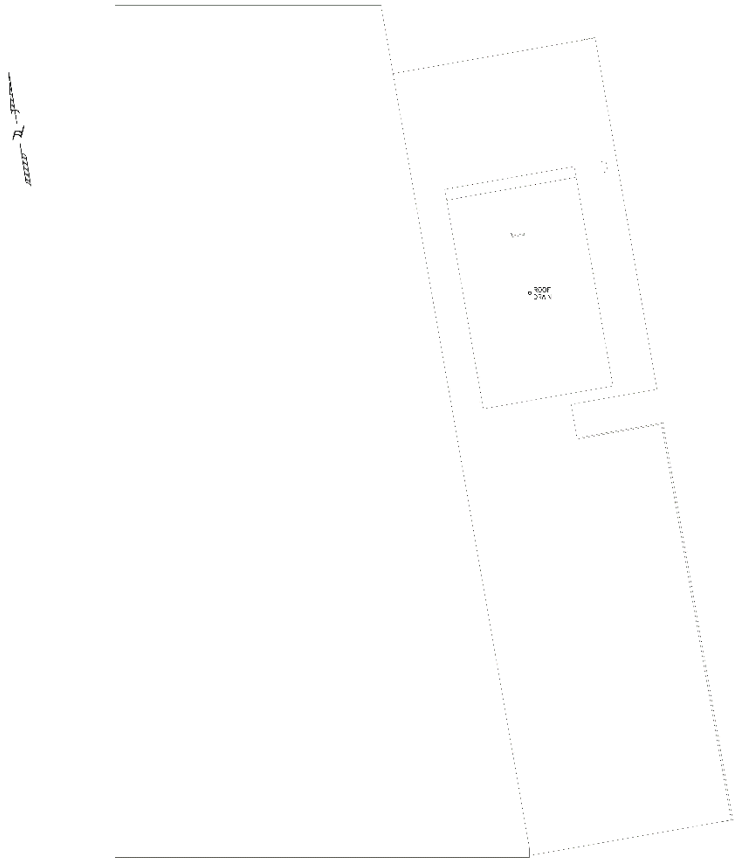
DRAWN BY T. O'QUINN

DATE

SHEET TITLE PLUMBING FLOOR PLAN

PROJECT NO 77250

SHEET NO. P200



PLUMBING ROOF PLAN

SCALE: 1/8" = 1'-0"

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PRELIMINARY FOR REVIEW ONLY

DECEMBER 14, 2017

No.	Description	Date

REVISIONS

Infinity Engineering Consultants, LLC

CIVIL
STRUCTURAL
MECHANICAL
ELECTRICAL
PLUMBING

ISO-9001:2008 17-0-9

PROJECT TITLE

FLORIDA DESIRE

DESIGNED BY: M. LEITZINGER

DRAWN BY: T. O'QUINN

DATE

SHEET TITLE: PLUMBING ROOF PLAN

PROJECT NO: 77250

SHEET NO.: P201

AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM NOTES

1. SCOPE OF FIRE PROTECTION WORK IS TO PROVIDE A NEW FIRE SPRINKLER SYSTEM FOR DAMAGE FIRE PROOF FIRE PROTECTION FIRM.

2. ALL AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM WORK INCLUDING DESIGN SHALL BE PERFORMED BY A LOUISIANA STATE CERTIFIED FIRE PROTECTION DESIGNER/CONTRACTOR PROPERLY LICENSED BY THE STATE FIRE MARSHAL.

3. ALL FIRE PROTECTION EQUIPMENT AND MATERIALS SHALL BE FACTORY MUTUAL APPROVED AND UL LABELED/LISTED.

4. THE SPRINKLER DESIGNER/CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING EQUIPMENT CUT SHEETS, MATERIAL CUT SHEETS, CALCULATIONS AND SHOP DRAWINGS TO THE STATE FIRE MARSHAL FOR APPROVAL ACCORDING TO THE FIRE MARSHAL PROCEDURES. SERVICE OF DESIGN/COORDINATION SHALL INCLUDE ALL FIELD DIMENSIONS AND FIELD INFORMATION OF ALL CONDITIONS AND DOCUMENT ON HIS SHOP DRAWINGS. ANY AND ALL INFORMATION REQUIRED TO PROPERLY COMPLETE THE DESIGN OF THE FIRE SYSTEM MUST BE OBTAINED IN THE FIELD BY THE SPRINKLER DESIGNER/CONTRACTOR. SPRINKLER DESIGNER/CONTRACTOR SHALL COMPLETE FULLY THE REQUIRED REVIEW ARCHITECT/ENGINEER AND THE OWNER (CLEARING HOUSE) AND ARE ALL ASSOCIATED FEES. SUBMIT TO THE MARSHAL AFTER ARCHITECT/ENGINEER HAS RECEIVED ALL APPROVED SUBMITTAL PACKAGE. A COPY TO STATE FIRE MARSHAL SPRINKLER PLANNING REVIEW DEPARTMENT MUST BE INCLUDED IN THE SUBMITTAL PACKAGE. ADDRESS EACH CONCERN ITEM IN THE SUBMITTAL PACKAGE.

5. SPRINKLER CONTRACTOR SHALL TEST AND INSPECT SPRINKLER SYSTEM TO VERIFY WATER TIGHTNESS AND PROPER PERFORMANCE AFTER INSTALLATION IS COMPLETE. SPRINKLER CONTRACTOR SHALL PROVIDE THE INFORMATION AND PERFORMANCE OF THE SYSTEM AS REQUIRED BY STATE AND LOCAL INSPECTORS OR AUTHORITIES HAVING JURISDICTION.

6. ALL SPRINKLER SYSTEM DESIGN CRITERIA SHALL CONFORM TO NFPA 13, LATEST EDITION.

7. SPRINKLER INSTALLER SHALL CERTIFY IN WRITING TO THE ARCHITECT THAT ALL SPRINKLER WORK HAS BEEN INSTALLED IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS, NFPA-NFPA 13 AND ALL STATE FIRE MARSHAL CODE REQUIREMENTS. CERTIFICATION SHALL BE ON CORPORATE LETTER HEAD AND SHALL BE SIGNED BY THE INSTALLATION SUPERVISOR AND BY A CORPORATE PRINCIPAL. CORPORATE OFFICER OF THE CERTIFIED CONTRACTOR SHALL ALSO INDICATE THE CHECKLISTS, WHICH HE EXHIBITED IN THE SUBMITTING REPORT PROJECT CAN BE DONE SHORT SUBSTANTIALLY COMPLETE.

8. SPRINKLER CONTRACTOR SHALL SUBMIT SPRINKLER HEAD LAYOUT TO THE ARCHITECT FOR APPROVAL PRIOR TO PERFORMING FINAL ENGINEERING. HEADS IN ALL FINISHED AREAS SHALL BE LOCATED AND ARRANGED WITH THE CONSIDERATION OF THE ARCHITECTURAL ELEMENTS OF THE SPACES. PARTS SHALL BE PROVIDED WHERE APPROPRIATE FOR VISUAL REASONS. HEADS SHALL BE LOCATED IN RELATION TO WALLS, AIR WALLS, CEILING OFFSETS, FLOR DOWNS, DECORATIVE ELEMENTS, COLUMNS, BAY SPACING AND OPENINGS. WINDOW. NONCONFORMING SPRINKLER HEAD LAYOUTS NOT ACCEPTABLE. IF REQUIRED, ADDITIONAL HEADS ABOVE AND BELOW THE MINIMUM REQUIRED BY CODE AND NONCONFORMING DESIGN SHALL BE PROVIDED TO REMOVE THE CODE VIOLATIONS VISUALLY PLEASING LAYOUT. SHOP DRAWINGS SHALL BE DRAWN TO SCALE IN AUTOCAD FORMAT TO ACCOMPANY THE ARCHITECTS REVIEW.

9. COORDINATE WITH CIVIL ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL PLANS.

10. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

SPRINKLER DESIGN REQUIREMENTS

1. SPRINKLER SYSTEMS SHALL BE DESIGNED AND INSTALLED PER NFPA-13, CONTRACT SPECIFICATIONS, LA STATE FIRE MARSHAL, FACTORY MUTUAL GUIDE LINES, AND LOCAL AUTHORITIES HAVING JURISDICTION.

2. DESIGN CRITERIA:
   A. TYPE OF SYSTEM: WET
      OCCUPANCY GROUP: LIGHT HAZARD FOR INDICATED AREAS
      .15 GPM/SQ. FT. (MAX. FLOW 300 GPM) = 250 GPM
      HOSE ALLOWANCE
      COVERAGE PER SPRINKLER: 130 SQ. FT. MAX
   B. TYPE OF SYSTEM: WET
      LIGHT HAZARD FOR ALL OTHER AREAS
      .10 GPM/SQ. FT. OVER 1500 SQ. FT. = 105 GPM
      HOSE ALLOWANCE
      COVERAGE PER SPRINKLER: 225 SQ. FT. MAX.

NOTE: WOOD, DUCTS, WALLS, AND STRUCTURAL STEEL, ETC. SHALL BE CONSIDERED FOR SPRINKLER SPACING. SPRINKLERS SHALL BE INSTALLED LEVEL AND PLUMB AT A MIN. OF 4-FOOT X WIDTH. SPRINKLER HAS UNDER DUCT ARE NOT REQUIRED TO BE INSTALLED IN ACCORDANCE WITH CALCULATIONS.

PROVIDE SPRINKLER PRODUCTS BEARING UL APPROVAL LABEL. PROVIDE UL SPRINKLER PIPING PRODUCTS WHICH HAVE BEEN APPROVED AND LISTED BY UNDERWRITERS LABORATORIES.

PENDANT SPRINKLERS IN DROP CEILING AREAS SHALL BE SYMMETRICALLY LOCATED IN CENTER OF CEILING TILE.

PIPE SIZES:
   A. PIPING 2 1/2" THRU 6" SHALL BE BLACK STEEL SCH 10 PIPE.
   A. PIPE 2" AND SMALLER SHALL BE BLACK SCH. 40 STEEL.

FITTINGS:
   MALLEABLE IRON BLACK FITTINGS FOR SCREWED PIPE.
   LINE OUTLETS TO BE SHOP WELDED PREFABRICATED CHANNEL FITTINGS AND COUPLINGS FOR GROUVED END PIPE.

SPRINKLER SPECS:
   FOR AREAS DESCRIBED, THE FOLLOWING SPRINKLER TYPES SHALL BE USED.
   A. CONCEALED ADHERED CEILINGS, LAY-IN CEILINGS AND HARDWOOD TONGUE AND GROOVE PANELS WITH FACTORY PRE-FINISHED COVER PLATE.
   B. AREAS WITHOUT CEILINGS: UPRIGHT PENDANT TYPE
   C. WALTING AREA CONCEALED RECESSED PENDANT W/ STAINLESS STEEL COVER PLATE TO MATCH ADJACENT CEILING.

NOTE: ALL SPRINKLERS SHALL HAVE TEMP. RATING IN ACCORDANCE WITH NFPA-13.

MAKE THE SAFE ALL PENETRATIONS THROUGH RATED FLOORS AND WALLS TO MAINTAIN SMOKE AND FIRE PROOFING USING SEALANTS. FIRE DAMPERS TO BE INSTALLED IN ACCORDANCE WITH NFPA NO 90. THE MANUFACTURING MATERIALS SHALL MEET ASTM E 814 REQUIREMENTS.

ALL FIRE PROTECTION PIPING SHALL BE TESTED AT 200 PSI FOR A DURATION OF NOT LESS THAN 2 HOURS.

SUPERVISORY AND FLOW ALARMS SHALL BE CONNECTED TO BUILDING FIRE ALARM.

A FIRE FLOW TEST WAS PERFORMED ON 12/21/2017 AT APPROXIMATELY 10:00 AM. THE FOLLOWING WAS FOUND: THE TEST HYDRANT SHOWS A STATIC PRESSURE OF 78 PSIG AND A RESIDUAL PRESSURE OF 75 PSIG WHEN THE FLOW HYDRANT INDICATED A FLOW OF 888 GPM. THE CONTRACTOR CAN USE THIS INFORMATION FOR BIDDING PURPOSES. THE CONTRACTOR MUST PERFORM AN INDEPENDENT TEST FOR HYDRAULIC CALCULATION PURPOSES PRIOR TO ORDERING THE SPRINKLER SYSTEMS.

PLUMBING LEGEND

	SANITARY WASTE
	VENT
	COLD WATER LINE
	HOT WATER LINE
	FIRE WATER LINE
	BALL VALVE
	CHECK VALVE
	GATE VALVE
	REDUCER
	WALL HYDRANT (W.H.)
FSD	TRAP PRIMER (TP)
CO	CLEAN OUT (CO)
FD	FLOOR DRAIN (FD)
	PIPE TURNING UP
	PIPE TURNING DOWN
BFP	BACK FLOW PREVENTER
CO	CLEAN OUT
CW	COLD WATER
EWC	ELECTRIC WATER COOLER
EWH	ELECTRIC WATER HEATER
FD	FLOOR DRAIN
HB	HOSE BIBB
HW	HOT WATER
TP	TRAP PRIMER
VTR	VENT THRU ROOF
W	SANITARY WASTE
WCO	WALL CLEAN OUT
WH	WALL HYDRANT
UCW	UNLESS OTHERWISE NOTED

No.	Description	Date

Infinity Engineering Consultants, LLC

PROJECT

FLORIDA DESIRE

PRELIMINARY FOR REVIEW ONLY

DECEMBER 14, 2017

DESIGNED BY: M. LEITZINGER
DRAWN BY: M. BURAS
DATE:
SCALE: NTS
FIRE PROTECTION GENERAL NOTES
PROJECT NO: 77250
SHEET NO: FP100

THESE PLANS HAVE BEEN PREPARED UNDER THE SUPERVISION OF MICHAEL P. LEITZINGER, PE (LA NO. 34903) IN THE OFFICE OF INFINITY ENGINEERING CONSULTANTS, LLC.

NOTE:

1. SPRINKLER DESIGN TO BE BASED UPON CEILING HEIGHTS, PIPING, HEADS & DISCHARGE LOCATIONS AS NECESSARY TO MAINTAIN CEILING HEIGHTS, COORDINATE WITH OTHER ABOVE CEILING UTILITIES (REF. ARCHITECTURAL DRAWINGS FOR CEILING HEIGHTS).

LEGEND:

LIGHT HAZARD (GROUP 1) PROTECTED BY: WET SPRINKLER

ORDINARY HAZARD (GROUP 1) PROTECTED BY: WET SPRINKLER

FIRE PROTECTION PLAN

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

SCALE: 1/8" = 1'-0"

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DECEMBER 14, 2017

No.	Description	Date

REVISIONS

Infinity Engineering Consultants, LLC

CIVIL
STRUCTURAL
MECHANICAL
ELECTRICAL
PLUMBING

PROJECT TITLE

FLORIDA DESIRE

DESIGNED BY: M. LEITZINGER

DRAWN BY: M. BURAS

DATE

SHEET TITLE: FIRE PROTECTION PLAN

PROJECT NO: 77250

SHEET NO.: FP200

GENERAL NOTES:

1. EACH CIRCUIT IS SHOWN WITH AN INDIVIDUAL HOME RUN. CONTRACTOR MAY ELECT TO COMBINE TWO OR MORE CIRCUITS IN ONE COMMON CONDUIT AND WITH COMMON NEUTRAL WHERE ALLOWED (CIRCUITS WITH HIGH CONTENT OF HARMONIC CURRENTS MAY NOT USE COMMON NEUTRAL EXAMPLE: LIGHTING CIRCUITS WITH ELECTRONIC BALLASTS, CIRCUITS WITH NON LINEAR ELECTRONIC POWER SUPPLIES, ETC.) NOTE: CAPACITIES OF CONDUCTORS SHALL BE REDUCED IF MORE THAN THREE CURRENT CARRYING CONDUCTORS ARE INSTALLED IN THE RACEWAYS. SEE NEC ARTICLE 310-15, 8(A) "NOTES TO AMPACITY TABLES OF 0 TO 2,000 VOLTS." CONDUCTORS SHALL BE DERATED IF 4 OR MORE WIRES ARE INSTALLED IN ONE CONDUIT.
2. ALL CONDUIT AND WIRE MUST BE CONCEALED FROM VIEW. EXPOSED CONDUIT AND WIRE ARE NOT ACCEPTABLE EXCEPT IN EQUIPMENT AND STORAGE ROOMS.
3. ALL ELECTRICAL AND COMMUNICATION DEVICES (LIGHT SWITCHES, RECEPTACLES, TELEPHONE, DATA ETC.) SHALL BE RECESSED MOUNTED UNLESS NOTED OTHERWISE. FIELD VERIFY RECEPTACLE MOUNTING REQUIREMENTS WITH OWNER\ ARCH., IF NO REQUIREMENTS, MOUNT ALL DUPLEX RECEPTACLES WITH THE "U" GROUND TERMINAL ON TOP, UNLESS NOTED OTHERWISE OR AS REQUIRED BY OWNER\ARCH. NEUTRAL TERMINAL SHALL BE ON TOP FOR HORIZONTALLY MOUNTED RECEPTACLES.
4. OWNER RESERVES THE RIGHT TO MOVE ANY OUTLETS 5 FEET IN ANY DIRECTION PRIOR TO ROUGH IN. ALL RECEPTACLES WITHIN 6 FEET OF ANY WET AREA (EXAMPLE: SINK, DISHWASHER, ETC.) SHALL HAVE GROUND FAULT PROTECTION, WHETHER SPECIFICALLY INDICATED OR NOT ON DRAWINGS.
5. SWITCHES\STARTERS FOR MECH. AND OTHER EQUIPMENT: LOCATION OF DISCONNECT SWITCHES, STARTERS, CONTROL STATIONS ETC. ARE SHOWN DIAGRAMMATICALLY ON THE DRAWINGS. INSTALL SUCH DEVICES IN COMPLIANCE WITH CODE REQUIRED CLEARANCE REQUIREMENTS. ALL SUCH DEVICES SHALL BE ACCESSIBLE AFTER AFTER EQUIPMENT ARE IN PLACE AND SATISFY CODE CLEARANCE REQUIREMENTS. REMOVE AND REINSTALL DEVICES THAT ARE INACCESSIBLE OR WITH INADEQUATE CODE CLEARANCE AT NO ADDITIONAL COST TO OWNER.
6. HVAC EQUIPMENT: OVERCURRENT DEVICES, DISCONNECT SWITCHES, CONDUIT\WIRE ARE SELECTED BASED ON EQUIPMENT SHOWN ON MECHANICAL DRAWINGS. FIELD VERIFY RATINGS OF EQUIP. SUPPLIED BY HVAC. REVISE ELECTRICAL AS REQUIRED TO MATCH ACTUAL EQUIPMENT SUPPLIED BY MECHANICAL CONTRACTOR.
7. FIRE WALL: DO NOT INSTALL RECEPTACLES, TELEPHONE, DATA OUTLETS ETC. BACK-TO-BACK IN FIRE\SMOKE PARTITIONS OR WITHIN THE SAME SPACE ENCLOSED BY TWO ADJACENT STUDS. ALSO APPLY TO ALL CORRIDOR WALLS.
8. LOCATION OF CONNECTION POINTS FOR HVAC UNITS, ETC., ARE APPROXIMATE. EXACT LOCATION OF CONNECTION POINTS AND QUANTITY SHALL BE DETERMINED BASED ON APPROVED SHOP DRAWINGS FOR THE REFERENCED EQUIPMENT.
9. PROVIDE U.L. LISTED AND APPROVED MODIFIED LUGS ON DISCONNECT SWITCHES AND/OR MAGNETIC STARTERS THAT HAVE TO ACCEPT CONDUCTORS LARGER THAN STANDARD LUG SIZES CAN ACCOMMODATE.
10. DO NOT MOUNT ANY DISCONNECT SWITCHES, STARTERS, ETC., ON ANY MECHANICAL EQUIPMENT OR HVAC DUCTS. PROVIDE UNISTRUT RACKS FOR MOUNTING OF THIS EQUIPMENT. UNISTRUT INSTALLED IN DAMP OR WET LOCATIONS TO BE HOT DIPPED GALVANIZED. MOUNT THIS EQUIPMENT WITH A AIR SPACE OF A MINIMUM OF 1" FROM ANY SURFACES. SUBMIT SHOP DRAWINGS FOR APPROVAL OF ARCHITECT FOR EACH INDIVIDUAL RACK LOCATION.
11. DO NOT LAY ANY SPECIAL SYSTEMS CABLING, RACEWAYS,ETC., ON CEILING GRID. DO NOT USE CEILING SUPPORTS FOR ANY WIRING METHOD SUPPORTS.
12. ALL FUSES ON THIS PROJECT TO BE OF THE SAME MANUFACTURER. ALL FUSES IN EACH INDIVIDUAL DISCONNECT SWITCHES SHALL BE OF THE SAME IDENTICAL TYPE, AMPERAGE AND VOLTAGE RATING. ALL FUSES SHALL BE INSTALLED RIGHT SIDE UP, AND WITH THE AMPERAGE LABEL FACING OUT. FUSES OUTDOORS OR IN WET LOCATIONS SHALL BE INSTALLED USING OXIDATION INHIBITING COMPOUND (PENETROX OR EQUAL) IN ALL FUSEHOLDERS.
13. LABEL ALL DEVICES WITH PANEL DESIGNATION, CIRCUIT NUMBER AND VOLTAGE. LABELING TO BE ACCOMPLISHED BY ENGRAVING FACEPLATES. SUBMIT METHOD OF ENGRAVING, STYLE AND HEIGHT FOR APPROVAL.
14. EVERY RACEWAY ON THIS PROJECT SHALL CONTAIN A GREEN INSULATED COPPER GROUND WIRE. THIS INCLUDES LIGHT FIXTURE WHIPS.
15. ALL EQUIPMENT FURNISHED AND ALL WORK SHALL BE IN STRICT CONFORMITY WITH ELECTRICAL SECTION OF REGULATORY INSPECTIONS FOR THE GOVERNING PARISH, COUNTY, OR STATE. FIRE MARSHALL, N.E.C. MOST RECENT EDITION & ALL OTHER APPLICABLE LAWS, ORDINANCES, CODES & RULES OF CONSTRUCTION APPLICABLE IN THE LOCALITY OF WORK.
16. PERMITS, CERTIFICATES OF INSPECTION AND APPROVAL AS APPLICABLE TO THE VARIOUS PORTIONS OF THE WORK SHALL BE OBTAINED FROM THE INSPECTION AGENCY HAVING JURISDICTION THEREON AND SHALL BE DELIVERED TO THE ARCHITECT PRIOR TO ACCEPTANCE OF THE WORK. PAY ALL FEES REQUIRED IN CONNECTION WITH VARIOUS INSPECTIONS AND PERMITS.

16A. ALL INSPECTIONS SHALL BE CONDUCTED BY CITY/PARISH INSPECTORS. THIRD PARTY INSPECTIONS SHALL NOT BE ALLOWED.

17. ALL LIGHTING FIXTURES, SWITCHES, RECEPTACLES, PLUGMOLD ETC., SHALL COMPLY WITH STANDARDS OF U.L. INC.
18. ELECTRICAL PLANS SHOW GENERAL WORK TO BE PERFORMED BY CONTRACTOR AND HAS BEEN PREPARED TO ASSIST THE CONTRACTOR IN PREPARING HIS PROPOSED COST FOR THE TOTAL PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE JOB SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS WHICH MAY AFFECT HIS WORK AND FINAL BID PRICE.
19. EACH BRANCH CIRCUIT AND/OR FEEDER SHALL HAVE A GREEN INSULATED EQUIPMENT GROUND CONDUCTOR.
20. ALL PENETRATIONS THROUGH PARTITIONS, CEILINGS, FLOORS, ETC., SHALL BE PROPERLY SEALED TO MAINTAIN FIRE RATING OF CEILING, FLOOR, PARTITIONS, ETC.
21. THE NUMBER OF CROSSMARKS SHOWN TO INDICATE THE NUMBER OF CONDUCTORS FOR A BRANCH CIRCUIT DOES NOT INCLUDE THE EQUIPMENT GROUND CONDUCTOR.
22. UPON COMPLETION, CONTRACTOR SHALL FURNISH AS BUILT SCHEMATIC DRAWING OF ALL VARIATIONS OF EXISTING PLANS TO OWNER.
23. TEST EACH RECEPTACLE IN THE ROOM WITH A WOODHEAD CO. "GROUND LOOP INDEPENDENCE TESTER" AND RECORD CIRCUIT NAME AND READING IN OHMS. PROVIDE TYPED REPORT TO OWNER.
24. UPON COMPLETION OF THE WORK, TEST THE NEW INDIVIDUAL SYSTEMS, INCLUDING ALL FEEDERS AND BRANCH CIRCUITS TO RECEPTACLES, LIGHTING WITH A 500 VOLT DC INSULATION TESTER (WITH AN 0-200 MEGOHM FULL SCALE) ALL CONDUCTORS SHALL HAVE INSULATION TESTED WHEN WIRING SYSTEM IS COMPLETE AND A LOG KEPT OF THE CIRCUIT NAME, DATE AND MEGGER READINGS. RECORD FEEDER AND/OR CIRCUIT NAME, READING IN OHMS, AND SUBMIT REPORT TO ARCHITECT. CHECK FOR PROPER PHASE ROTATION. ALL TEST REPORTS SHALL BE TYPED. PROVIDE ALL INSTRUMENTS, LABOR, ETC. REQUIRED FOR TESTING. ALL TESTING SHALL BE OBSERVED BY THE ARCHITECT AND/OR REPRESENTATIVES OF ARCHITECT.
25. UPON COMPLETION OF ALL TESTS AND ACCEPTANCE, FURNISH THE OWNER A WRITTEN GUARANTEE COVERING THE ELECTRICAL WORK DONE AND EQUIPMENT INSTALLED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. DURING THE GUARANTEE PERIOD THE CONTRACTOR SHALL RECTIFY AND REPLACE ANY DEFECTIVE MATERIAL OR WORKMANSHIP AND REPAIR DAMAGE CAUSED THEREBY WITHOUT ANY ADDITIONAL COST TO THE OWNER.
26. ALL SMOKE AND HEAT DETECTORS SHALL BE MOUNTED A MINIMUM OF THREE FEET FROM HVAC GRILLES AND ONE FOOT FROM LIGHT FIXTURES. PROVIDE ADDITIONAL DETECTORS IF REQUIRED TO MEET THIS REQUIREMENT WITHOUT ADDITIONAL COMPENSATION FROM OWNER. THIS IS A CODE REQUIREMENT AND WILL BE STRICTLY ENFORCED.
27. INFORMATION SHOWN FROM ONE TRADE ON ANOTHER TRADE'S SHEET ARE FOR ILLUSTRATIVE PURPOSES ONLY. SUBJECTS THAT PERTAIN TO A PARTICULAR TRADE ARE GOVERNED BY THE INFORMATION SHOWN ON THAT TRADE'S SHEETS. (E.G. ELECTRICAL SUBJECTS SHOWN ON ELECTRICAL SHEETS GOVERN.) CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL DRAWINGS TO EACH TRADE TO AID IN COORDINATION & SHALL NOT DISTRIBUTE ONLY ONE TRADE TO ANY SUBCONTRACTOR.

GENERAL NOTES (CONT'D):

28. LOOP CONDUIT FROM ONE DEVICE BOX TO THE OTHER OR ONE LIGHT FIXTURE BOX TO THE OTHER. ALL SPLICES SHALL BE MADE IN THE DEVICE BOXES AND FIXTURE JUNCTION BOXES. DO NOT INSTALL ADDITIONAL JUNCTION BOXES IN CEILING OR WALLS TO BRANCH OFF CIRCUITS.
29. WHERE OVERSIZED CONDUITS OR CONDUCTORS ARE INDICATED, THE CONDUIT AND WIRE SIZE SHALL BE INSTALLED THROUGHOUT THE ENTIRE CIRCUIT.
30. ALL INSTALLATION INDICATED IN CONTRACT DOCUMENTS SHALL BE FLUSH MOUNTED IN WALLS OR CEILINGS. SURFACE MOUNTED OR EXPOSED IS ACCEPTED ONLY IN WRITING BY ARCHITECT GRANTING APPROVAL.
31. MECHANICAL EQUIPMENT LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY EXACT LOCATIONS WITH APPROVED MECHANICAL SHOP DRAWINGS PRIOR TO START OF ROUGH-IN.
32. NOTE NFPA 72 2.3.6.1.3 WHICH STATES THAT ALL DETECTORS SHALL NOT BE INSTALLED UNTIL AFTER THE CONSTRUCTION CLEANUP OF ALL TRADES IS COMPLETE AND FINAL. DETECTOR COVERS ARE NOT ACCEPTABLE. IF DETECTORS ARE INSTALLED PRIOR TO THE FINAL CONSTRUCTION CLEANUP OF ALL TRADES IN THE OPINION OF THE OWNER AND ARCHITECT THESE DETECTORS SHALL BE REPLACED AT NO COST TO OWNER.
33. COORDINATE MOUNTING HEIGHTS OF ALL WALL MOUNTED EQUIPMENT, WIRING DEVICES, ETC., WITH ARCHITECTURAL DRAWINGS PRIOR TO START OF ROUGH IN.
34. INSTALL ALL ELECTRICAL ROUGH-INS REQUIRED FOR OWNER FURNISHED EQUIPMENT. THIS INCLUDES BUT NOT LIMITED TO ALL REQUIRED BOXES, FITTINGS, ASSOCIATED WIRING, RACEWAYS, ETC. CONTRACTOR SHALL COORDINATE ALL REQUIREMENTS WITH APPROPRIATE EQUIPMENT VENDOR PRIOR TO START OF ROUGH-IN. MAKE ALL REQUIRED FINAL TERMINATIONS.
35. PRIOR TO START OF ROUGH-IN FOR ALL LIGHT SWITCHES, COORDINATE DOOR SWING AND ADJUST LOCATION OF LIGHT SWITCH ACCORDINGLY.
36. ALL ELECTRICAL SYSTEMS SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE 2008 NFPA 70, NATIONAL ELECTRICAL CODE.
37. EMERGENCY AND EXIT LIGHTING SHALL BE WIRED AND UNSWITCHED (WIRED AHEAD OF ANY SWITCHES) ON INDICATED CIRCUIT.
38. ALL DISCONNECTS (FUSIBLE AND UNFUSIBLE) SHALL BE HEAVY DUTY TYPE AND LOCKABLE.
39. PROVIDE TYPEWRITTEN CIRCUIT DIRECTORY IN ALL PANELBOARDS. CIRCUIT DESCRIPTIONS SHALL INCLUDE LOCATIONS OF LIGHTING FIXTURES AND RECEPTACLES.
40. ALL RECESSED FLOOR MOUNTED RECEPTACLES SHALL BE GFCI PROTECTED.

ABBREVIATIONS

A	AMPS
AFF	ABOVE FINISHED FLOOR
AIC	AMPERE INTERRUPTING CAPACITY
BIDC	BUILDING
C	CONDUIT
C/B	CIRCUIT BREAKER
CO	CONDUIT ONLY
CKT	CIRCUIT
DISC SW	DISCONNECT SWITCH
C (E)	EMPTY CONDUIT
EMT	ELECTRICAL METAL TUBING
EW	EACH WAY
EWC	ELECTRIC WATER COOLER
F	FUSE, FUSIBLE
FACP	FIRE ALARM CONTROL PANEL
FL	FLOOR
GFC	GROUND FAULT CIRCUIT INTERRUPTER
GFS	GROUND FAULT SENSOR
GND	GROUND
HP	HORSEPOWER
KW	KILOWATT
KVA	KILOVOLTAMPERES
MCB	MAIN CIRCUIT BREAKER
MH or M/H	MANHOLE
MLO	MAIN LUGS ONLY
MT	MOUNT
MTD	MOUNTED
MTR	MOTOR
NF	NON-FUSED
NTS	NOT TO SCALE
PVC	POLYVINYL CHLORIDE
REC, RECPT	RECEPTACLE
RGS	RIGID GALVANIZED STEEL
TTB	TELEPHONE TERMINAL BOARD
TYP	TYPICAL
UG	UNDERGROUND
UON	UNLESS OTHERWISE NOTED
WP	WEATHERPROOF

COLOR CODE ABBREVIATIONS

BK	BLACK
W	WHITE
R	RED
G	GREEN
O	ORANGE
BL	BLUE
A	AMBER
Y	YELLOW
R BK	RED BASE W/BLACK TRACER (TYP)

PLAN DRAWING SYMBOLS

- WIRING ROUTED EXPOSED
- WIRING ROUTED UNDER FLOOR, BELOW GRADE OR IN SLAB
- CONDUIT TURNING UP OR TOWARDS
- CONDUIT TURNING DOWN OR AWAY
- LIGHTING AND RECEPTACLE PANELBOARD
- DISTRIBUTION PANELBOARD
- FLUORESCENT LIGHTING FIXTURE, SUFFIX INDICATES SWITCH LEG OR NIGHT LIGHT (SEE LIGHTING FIXTURE SCHEDULE FOR DETAIL).
- EMERGENCY LIGHTING FIXTURE
- INCANDESCENT OR FLUORESCENT DOWN LIGHT
- EMERGENCY BATTERY PACK FIXTURE
- WIRING CONCEALED IN WALLS, OR ABOVE CEILING
- WIRING FOR SYSTEMS CONNECTED TO EMERGENCY BATTERY INVERTER SYSTEM
- XXX-1,3 — HOMERUN TO PANELBOARD "XXX". SMALL CROSSMARKS INDICATE HOT WIRE. GROUND WIRE NOT SHOWN BUT SHALL BE INCLUDED IN ALL CIRCUITS. WIRING #12 IN 3/4"C. UNLESS INDICATED OTHERWISE.
- MTS — MANUAL TRANSFER SWITCH
- DISCONNECT SWITCH (UNFUSED)
- XYZ R — FUSED DISCONNECT (X - NO. OF POLES, Y - FUSE RATING, Z - SWITCH RATING, R - NEMA RATING)

PLAN DRAWING SYMBOLS (CONT'D)

- MOTOR STARTER
- COMBINATION MOTOR STARTER/ CIRCUIT BREAKER OR FUSED DISCONNECT SWITCH
- MANUAL MOTOR STARTING SWITCH
- SINGLE POLE TOGGLE SWITCH - 20A, 120/277V, MTD. 48" AFF.
- 3 WAY TOGGLE SWITCH - 20A, 120/277V, MTD. 48" AFF.
- KEYLOCK LIGHT SWITCH, MTD. 48" AFF.
- JUNCTION BOX - USE RAISED COVER & BLANK PANEL IN FINISHED AREAS
- RECESSED MOUNTED JUNCTION BOX
- RECEPTACLE PROTECTED BY GROUND FAULT CIRCUIT INTERRUPTER
- RECEPTACLE - DUPLEX, 20A, 120V, GROUNDED, NEMA 5-20R
- WEATHERPROOF RECEPTACLE
- ABOVE COUNTER RECEPTACLE - DUPLEX, 20A, 120V, GROUNDED, NEMA 5-20R
- RECEPTACLE - (TWO DUPLEX RECEPTACLES MOUNTED IN A SINGLE OUTLET BOX FOURPLEX) 20A, 120V, GROUNDED, NEMA 5-20R
- ABOVE COUNTER RECEPTACLE - (TWO DUPLEX RECEPTACLES MOUNTED IN A SINGLE OUTLET BOX FOURPLEX) 20A, 120V, GROUNDED, NEMA 5-20R
- JUNCTION BOX - USE RAISED COVER & BLANK PANEL IN FINISHED AREAS
- FLOOR MOUNTED RECEPTACLE - DUPLEX, 20A, 1Ø, 120V, 2 WIRE, 3 POLE, GROUNDED
- FLOOR MOUNTED RECEPTACLE - QUARAPLEX, 20A, 1Ø, 120V, 2 WIRE, 3 POLE GROUNDED
- POKE-THROUGH COMBINATION POWER-TELECOMM FLOOR MOUNTED OUTLET
- CEILING MOUNTED RECEPTACLE - DUPLEX, 20A, 1Ø, 120V, 2 WIRE, 3 POLE, GROUNDED
- RECESSED FLOOR MOUNTED RECEPTACLE - SIMPLEX, 20A, 1Ø, 120V, 2 WIRE, 3 POLE, GROUNDED
- BELOW FLOOR JUNCTION BOX
- ELECTRIC MOTOR (CONNECTION AS NOTED)
- GROUND ROD
- ELECTRICAL SPECIFIC NOTE DESIGNATION TAG (SPECIFIC TO EACH SHEET)
- WALL MOUNTED FIXTURE
- ELECTRIC HEATER ELEMENT
- EXIT LIGHT FIXTURE, W/ DIRECTIONAL ARROWS ON FACE (SHADED) AS INDICATED
- S_a — DENOTES SWITCH DESIGNATION CORRESPONDING TO FIXTURE
- S_o — OCCUPANCY SENSOR
- TRANSFORMER
- PA SYSTEM SPEAKER
- PA SYSTEM MICROPHONE PACK
- BELL
- COMPRESSOR
- CLOCK
- EXISTING MOUNTED OCCUPANCY SENSOR
- RC — DIGITAL ROOM LIGHTING CONTROLLER
- DRC — DIGITAL DIMMING ROOM LIGHTING CONTROLLER
- ELCU — EMERGENCY LIGHTING CONTROL UNIT

SOUND SYSTEM

- MICROPHONE OUTLET - CEILING MOUNTED
- MICROPHONE OUTLET - WALL MOUNTED
- MICROPHONE OUTLET - FLOOR MOUNTED
- SOUND SYSTEM CONNECTION - FLUSH FLOOR OUTLET
- SOUND SYSTEM CONNECTION - WALL MOUNTED OUTLET
- SPEAKER - CEILING MOUNTED
- SPEAKER - WALL MOUNTED
- INTERCOM STATION - CEILING MOUNTED
- INTERCOM STATION - WALL MOUNTED

TELEPHONE/COMMUNICATIONS SYMBOLS

- TELEPHONE OUTLET - PROVIDE 2-RJ-45 OR RJ-11 AS DIRECTED BY THE OWNER, WITH CAT 6 CABLES TO TELEPHONE BOARD IN TELE/COMM ROOM.
- COMBINATION TELEPHONE/DATA QUAD OUTLET PROVIDE 2 RJ-45 OR RJ-11 AS DIRECTED BY THE OWNER, WITH CAT 5 CABLES TO TELEPHONE BOARD IN TELE/COMM ROOM AND 2-RJ-45 DATA OUTLETS WITH CAT 6 CABLES TO THE CAB RACK PATCH PANEL IN THE TELE/COMM ROOM.
- FLOOR MOUNTED COMBINATION TELEPHONE/DATA OUTLET SEE REQUIREMENTS FOR TELE-DATA OUTLET ABOVE
- DATA OUTLET - 2-RJ-45 DATA OUTLETS WITH CAT 6 CABLES TO THE CAB RACK PATCH PANEL IN THE TELE/COMM ROOM
- COAX CABLE OUTLET
- HD ANALOG CCTV CAMERA PROVIDE ANALOG CABLE AND CAT 6 CABLES

ONE LINE SYMBOLS

- POWER CIRCUIT AND EQUIPMENT
- FUTURE
- EXISTING
- DISCONNECT SWITCH
- FUSED DISCONNECT SWITCH
- FUSE - * INDICATES RATING AMPERES (*100A)
- CIRCUIT BREAKER
- CURRENT TRANSFORMER 200/5 INDICATES RATIO AND NUMBER (200/5, 3)
- POTENTIAL TRANSFORMER
- GROUND
- LIGHTNING ARRESTOR

FIRE ALARM SYMBOLS

SYMBOL	DESCRIPTION
F	MANUAL PULL STATION
S	COMBINATION SPEAKER/STROBE WALL MOUNTED AT 80" AFF OR 6" BELOW CEILING (WHICHEVER IS LOWER)
S	COMBINATION SPEAKER/STROBE, CEILING MOUNTED
S	SPEAKER WALL MOUNTED AT 80" AFF OR 6" BELOW CEILING (WHICHEVER IS LOWER)
S	SPEAKER, CEILING MOUNTED
S	STROBE UNIT, WALL MOUNTED AT 80" AFF OR 6" BELOW CEILING (WHICHEVER IS LOWER)
S	STROBE UNIT, CEILING MOUNTED
H	COMBINATION HORN/STROBE WALL MOUNTED AT 80" AFF OR 6" BELOW CEILING (WHICHEVER IS LOWER)
H	HEAT DETECTOR
	SMOKE DETECTOR
BD	BEAM TYPE SMOKE DETECTOR
D	DUCT SMOKE DETECTOR WITH SAMPLING TUBE, MOUNTED IN DUCTWORK
R	RELAY
WF	WATER FLOW SWITCH (SUPPLIED WITH SPRINKLER SYSTEM)
TS	VALVE TAMPER SWITCH (SUPPLIED WITH SPRINKLER SYSTEM)
FACP	FIRE ALARM SYSTEM CONTROL PANEL
FAA	FIRE ALARM REMOTE ANNUNCIATOR
CM	FIRE ALARM SYSTEM CONTROL MODULE
MM	FIRE ALARM SYSTEM MONITORING MODULE

INTERVIEW

IV	START-STOP INTERVIEW SWITCH - AUDIO & VIDEO
IVC	INTERVIEW CAMERA SYSTEM
DVR-IV	INTERVIEW DVR IN COMM. ROOM
M	INTERVIEW MICROPHONE TO INTERVIEW DVR
TV	TELEVISION MONITOR OUTLET - 72"AFF RG 6 TO DVR FOR INTERVIEWS AND CAT6 TO CCV CAB RACK

THESE PLANS HAVE BEEN PREPARED UNDER THE SUPERVISION OF GREGORY J. LINTINGER, PE (LA NO. 23878) IN THE OFFICE OF INFINITY ENGINEERING CONSULTANTS, LLC.

No.	Description	Date

KEY PLAN

Infinity Engineering Consultants, LLC
CIVIL
STRUCTURAL
MECHANICAL
ELECTRICAL
MARINE

PROJECT TITLE

FLORIDA DESIRE

PRELIMINARY
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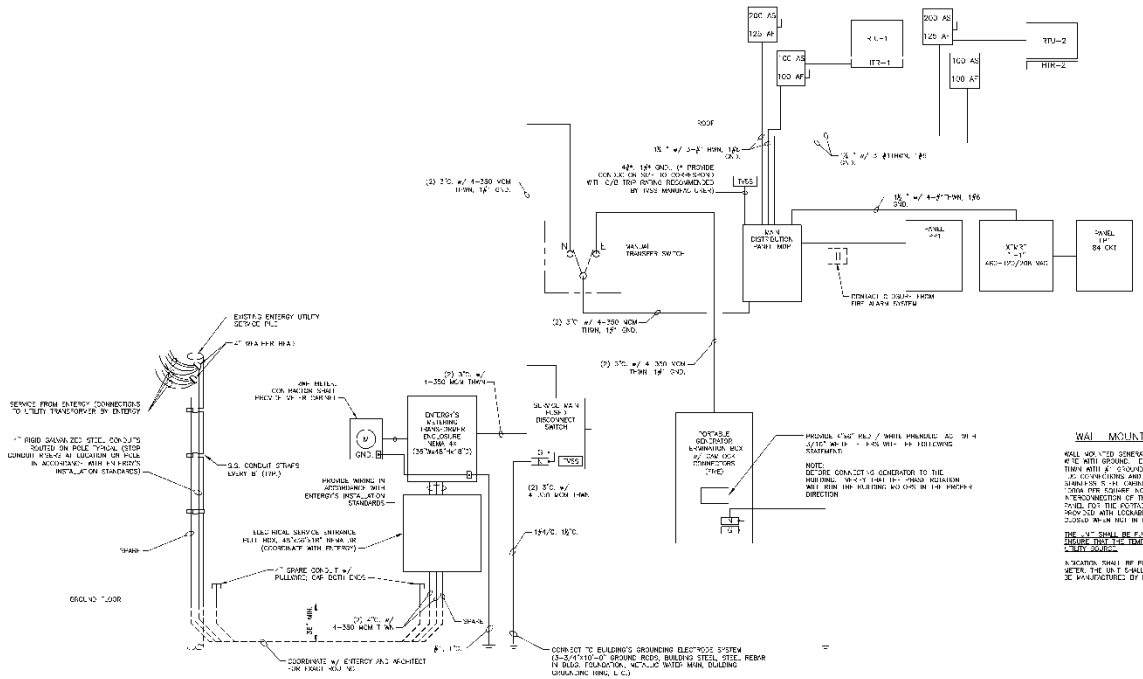
DECEMBER 14, 2017

DESIGNED BY: | CHECKED BY: C. PIPER
DRAWN BY: T. O'GLINN | DATE:
SHEET TITLE: ELECTRICAL GENERAL NOTES & LEGENDS
PROJECT NO.: 77250 | SHEET NO.: E100



ELECTRICAL ONE-LINE DIAGRAM

SCALE: N.T.S.

WALL MOUNTED GENERATOR CONNECTION CABINET

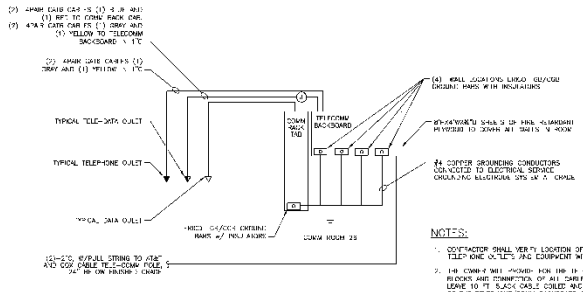
WALL MOUNTED GENERATOR CONNECTION CABINET, 600 AMPERE, 120/208V, 3 PHASE, 4 WIRE WITH GROUND. ELECTRICAL CIRCUIT SHALL BE PARALLEL CIRCUITS OF 4-350 MCM THWN WITH 1/0 GROUND CONDUCTORS IN EACH OF THE PARALLEL CIRCUITS. WIRE MANUAL LUG CONNECTIONS AND CAN-BE-OPEN CONNECTIONS AT THE TOP OF THE HIGH SIDE OF THE BUSHINGS. SHIP CABINET SHALL BE PROVIDED WITH COPPER BUS BARS. A 1200A PER PHASE AND CURRENT TRANSFORMER SHALL BE PROVIDED FOR THE INTERCONNECTION OF THE LUGS AND CAN LOCK CONNECTORS. THE BOTTOM ACCESS PANEL FOR THE PORTABLE GENERATOR LOAD BANK CONNECTION CABINET SHALL BE PROVIDED WITH LOCKABLE COVER WITH NEOPRENE GASKETING AND SHALL BE HELD CLOSED WHEN NOT IN USE.

THE UNIT SHALL BE EQUIPPED WITH A PHASE SEQUENCE AND FAILURE INDICATION TO ENSURE THAT THE TEMPORARY EQUIPMENT IS CONNECTED WITH THE SAME PHASING AS THE UTILITY SOURCE.

INDICATION SHALL BE PROVIDED BY A PROMPTION PHASE SEQUENCE AND FAILURE METER. THE UNIT SHALL BE UL LISTED FOR THIS APPLICATION. THE EQUIPMENT SHALL BE MANUFACTURED BY BERTRON ELECTRIC OR EQUAL.

No.	Description	Date

REV. 24



NOTES:

1. CONTRACTOR SHALL VERIFY LOCATION OF ALL COMMUNICATIONS, DATA AND TELEPHONE OUTLETS AND EQUIPMENT WITH OWNER PRIOR TO INSTALLATION.
2. THE COMPANY WILL PROVIDE FOR THE TELEPHONE SYSTEM DE PUNCH BLOCKS AND CONNECTION OF ALL CABLES / WIRES. CONTRACTOR TO LEAVE 10 FT SLACK CABLE COILED AND SECURED AT TELEPHONE AREA OF THE TELEPHONE/COMM BACKBOARD SYSTEM.
3. THE CONTRACTOR SHALL CONNECT ALL DATA CABLES TO THE DATA RACK CAT 6 PATCH PANELS TO CONNECTION PORTS ON THE FRONT OF THE PATCH PANELS. THE CABLES SHALL BE DIVIDED INTO 4 SECTIONS, 2 SECTIONS OF PATCH PANELS FOR THE BLUE NETWORK CABLES AND 2 SECTIONS OF THE PATCH PANEL FOR THE RED NETWORK CABLES. ALL CABLES SHALL BE INSTALLED IN A NEAT AND ORDERLY MANNER ON THE RACK VERTICAL AND HORIZONTAL Cable Management STRAPS.
4. DEDICATED ANALOG TELEPHONE TO ELEVATOR CAB

TELECOMMUNICATIONS ONE-LINE DIAGRAM

SCALE: N.T.S.

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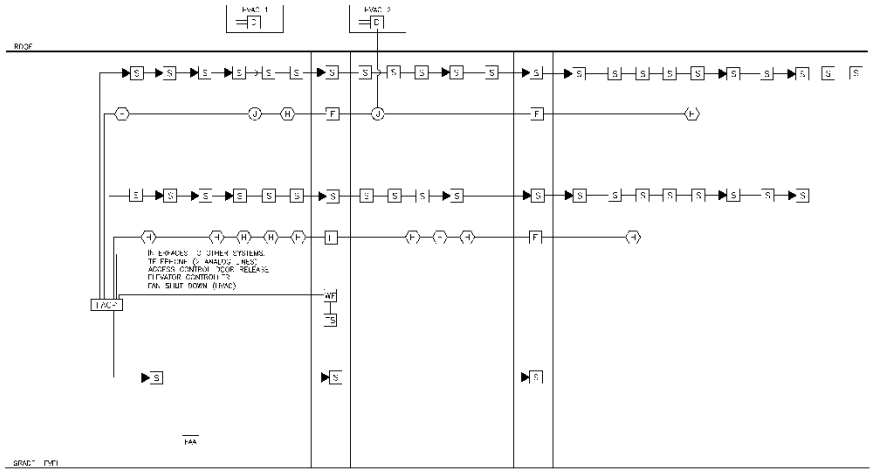


FIRE ALARM RISER DIAGRAM

SCALE: N.T.S.

No.	Description	Date

Infinity Engineering Consultants, LLC

FLORIDA DESIRE

THESE PLANS HAVE BEEN PREPARED UNDER THE SUPERVISION OF GREGORY J. LINTINGER, PE (LA NO. 23878) IN THE OFFICE OF INFINITY ENGINEERING CONSULTANTS, LLC.

PRELIMINARY FOR REVIEW ONLY

DECEMBER 14, 2017

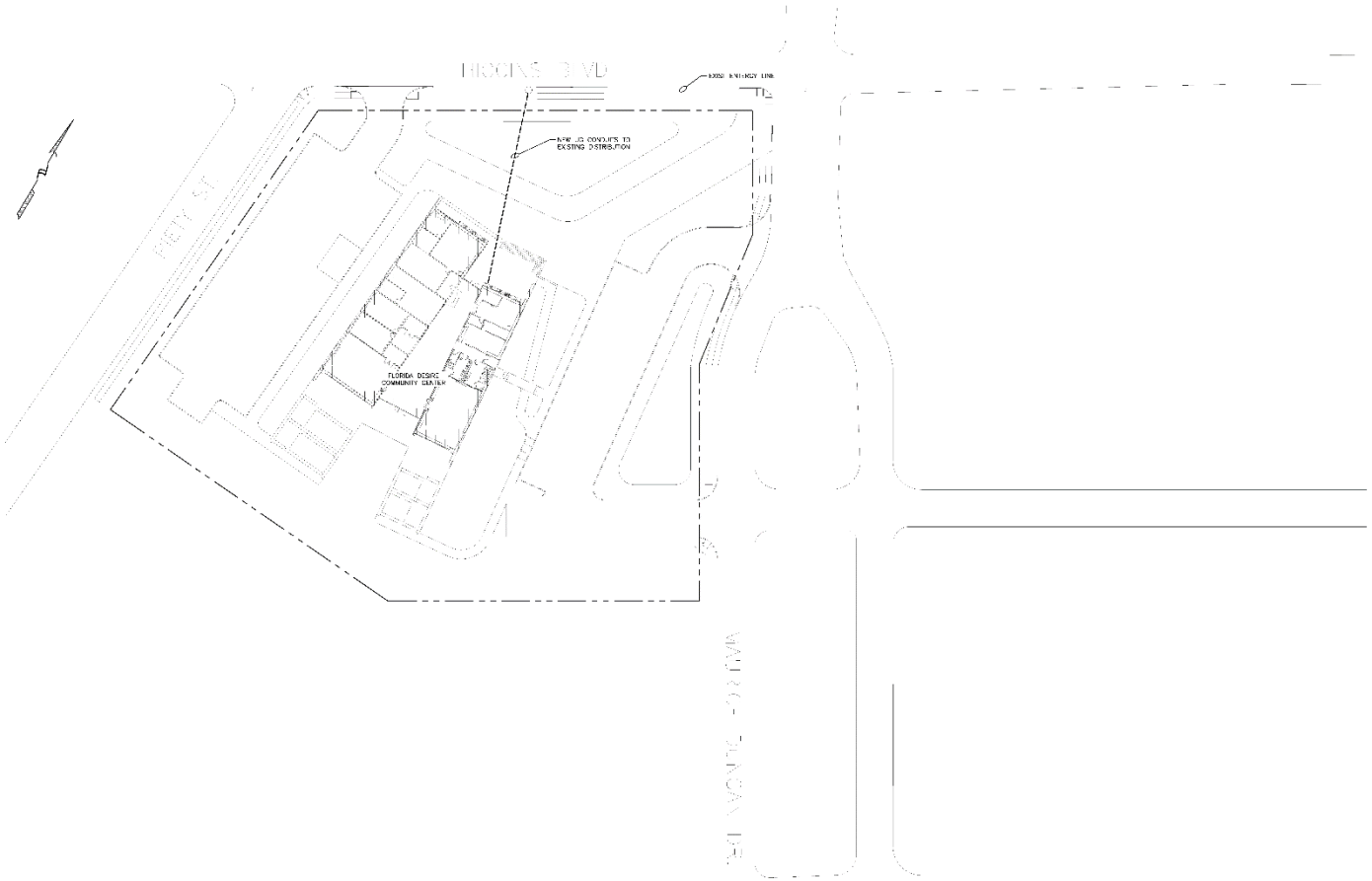
DRAWN BY: T. O'QUINN

DATE: C.F.ER

FIRE ALARM RISER DIAGRAM

PROJECT NO: **77250**

SHEET NO: **E201**



OVERALL SITE ELECTRICAL PLAN

SCALE: 1" = 30'

0 30' 60'

SCALE: 1" = 30'

PRELIMINARY
FOR REVIEW ONLY
DECEMBER 14, 2017

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No.	Description	Date

REVISIONS

Infinity Engineering Consultants, LLC

CIVIL
STRUCTURAL
MECHANICAL
ELECTRICAL
PLUMBING

PROJECT TITLE:

FLORIDA DESIRE

DESIGNED BY: CHECKED BY: C P E R

DRAWN BY: T. O'QUINN DATE:

SHEET TITLE: OVERALL SITE ELECTRICAL PLAN

PROJECT NO. 77250 SHEET NO. E300

BUILDING ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

SCALE: 1/8" = 1'-0"

THESE PLANS HAVE BEEN PREPARED UNDER THE SUPERVISION OF GREGORY J. LINTINGER, PE (LA NO. 23878) IN THE OFFICE OF INFINITY ENGINEERING CONSULTANTS, LLC.

PRELIMINARY FOR REVIEW ONLY

DECEMBER 14, 2017

No.	Description	Date

REVISIONS

Infinity Engineering Consultants, LLC

CIVIL
STRUCTURAL
MECHANICAL
ELECTRICAL
PLUMBING

ISO-9001:2008 Certified

PROJECT TITLE

FLORIDA DESIRE

DESIGNED BY C.P.ER

CHECKED BY

DRAWN BY T. O'QUINN

DATE

SHEET TITLE BUILDING ELECTRICAL PLAN

PROJECT NO 77250

SHEET NO. E301

BUILDING LIGHTING PLAN

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

SCALE: 1/8" = 1'-0"

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PRELIMINARY FOR REVIEW ONLY

DECEMBER 14, 2017

No.	Description	Date

REVISIONS

Infinity Engineering Consultants, LLC

CIVIL STRUCTURAL MECHANICAL ELECTRICAL PLUMBING

PROJECT TITLE

FLORIDA DESIRE

DESIGNED BY C.P.ER

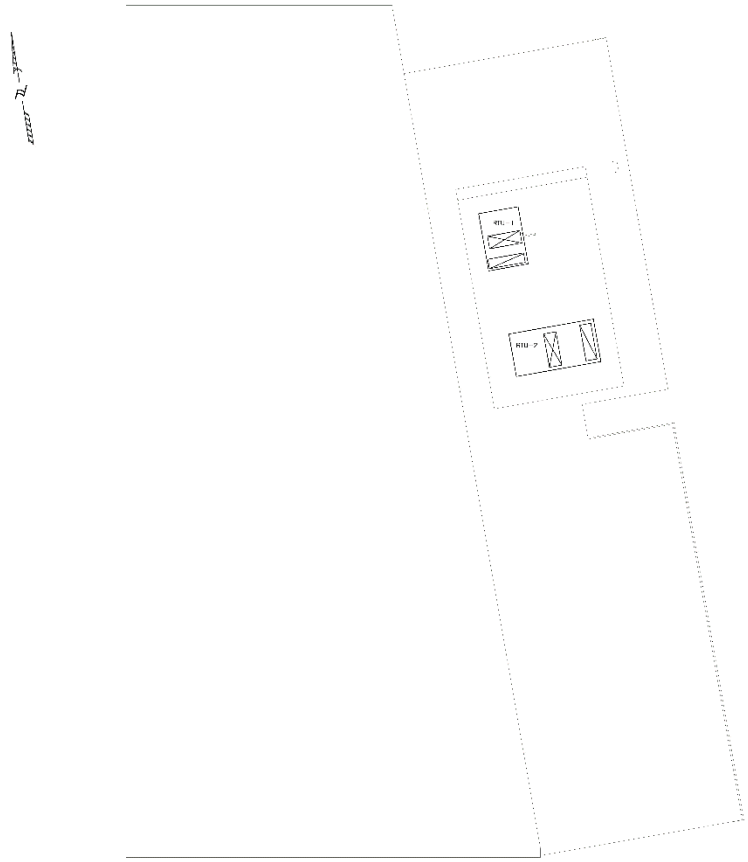
DRAWN BY T. O'QUINN

DATE

SHEET TITLE BUILDING LIGHTING PLAN

PROJECT NO 77250

SHEET NO. E302



ELECTRICAL ROOF PLAN

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

SCALE: 1/8" = 1'-0"

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PRELIMINARY
FOR REVIEW ONLY
DECEMBER 14, 2017

No.	Description	Date

REVISIONS

Infinity Engineering Consultants, LLC

CIVIL
STRUCTURAL
MECHANICAL
ELECTRICAL
PLUMBING

ISO-9001:2008 17-0-9

PROJECT TITLE

FLORIDA DESIRE

DESIGNED BY: C.F.ER
DRAWN BY: T. O'QUINN
DATE
SHEET TITLE: ELECTRICAL ROOF PLAN
PROJECT NO: 77250
SHEET NO: E303

BUILDING SPECIAL SYSTEMS PLAN

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

SCALE: 1/8" = 1'-0"

THESE PLANS HAVE BEEN PREPARED UNDER THE SUPERVISION OF GREGORY J. LINTINGER, PE (LA NO. 23878) IN THE OFFICE OF INFINITY ENGINEERING CONSULTANTS, LLC.

PRELIMINARY FOR REVIEW ONLY

DECEMBER 14, 2017

No.	Description	Date

REVISIONS

Infinity Engineering Consultants, LLC

CIVIL
STRUCTURAL
MECHANICAL
ELECTRICAL
PLUMBING

PROJECT TITLE

FLORIDA DESIRE

DESIGNED BY C.P.ER

CHECKED BY

DRAWN BY T. O'QUINN

DATE

SHEET TITLE BUILDING SPECIAL SYSTEMS PLAN

PROJECT NO 77250

SHEET NO. E400

BRANCH PANEL: LP1

LOCATION:
SUPPLY FROM: MDP
MOUNTING: SURFACE
ENCLOSURE: DO NOT USE

VOLTS: 120/208 Wye
PHASES: 3
WIRES: 4

A.I.C. RATING: 14000KA
MAINS TYPE:
MAINS RATING: 600
MCB RATING: –

NOTES:

CKT	CIRCUIT DESCRIPTION	TRIP	POLES	A	B	C	POLES	TRIP	CIRCUIT DESCRIPTION	CKT
1										2
3										4
5										6
7										8
9										10
11										12
13										14
15										16
17										18
19										20
21										22
23										24
25										26
27										28
29										30
31										32
33										34
35										36
37										38
39										40
41										42
43										44
45										46
47										48
49										50
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55										56
57										58
59										60
61										62
63										64
65										66
67										68
69										70
71										72
73										74
75										76
77										78
79										80
81										82
83										84
		TOTAL LOAD:								
		TOTAL AMPS:								

LEGEND:

LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	PANEL TOTALS	
APPLIANCE – DWELLING UNIT					
CHING				TOTAL CONN. LOAD:	
LIGHING – DWELLING UNIT				TOTAL EST. DEMAND:	–
OTHER				TOTAL CONN.:	–
RECEPTACLE				TOTAL EST. DEMAND:	–

NOTES:

BRANCH PANEL: MDP

LOCATION: ELEC 31
SUPPLY FROM: MTS 1
MOUNTING: SURFACE
ENCLOSURE: DO NOT USE

VOLTS: 480/VAC
PHASES: 3
WIRES: 4

A.I.C. RATING: TBD
MAINS TYPE:
MAINS RATING: 250A
MCB RATING: 40KA

NOTES:

CKT	CIRCUIT DESCRIPTION	TRIP	POLES	A	B	C	A	B	C	POLES	TRIP	CIRCUIT DESCRIPTION	CKT
1	[illegible]	100 A	3	10587			7933			3	20 A	HVAC, RTU 1	2
3	–	–	–		–			–		–	–	–	4
5													6
7	HVAC, RTU-2	20 A	3	7184			–			–	–	–	8
9	–	–	–		–			–		–	–	–	10
11	–	–	–			–			–	–	–	–	12
13	–	–	–	–			–			–	–	–	14
15	–	–	–										16
17													18
19	–	–	–	–			–			–	–	–	20
21	–	–	–		–					–	–	–	22
23	–	–	–			–		–	–	–	–	–	24
		TOTAL LOAD:		–	–	–	–	–	–				
		TOTAL AMPS:											

LEGEND:

LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	PANEL TOTALS	
APPLIANCE – DWELLING UNIT	–	–	–		
CHING	–	–	–	TOTAL CONN. LOAD:	–
LIGHING – DWELLING UNIT	–	–	–	TOTAL EST. DEMAND:	–
OTHER				TOTAL CONN.:	–
RECEPTACLE				TOTAL EST. DEMAND:	–
	–	–	–		
	–	–	–		

NOTES:

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PRELIMINARY
FOR REVIEW ONLY
DECEMBER 14, 2017

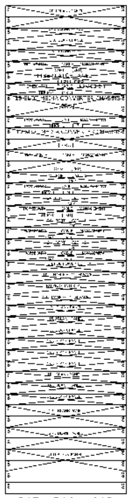
No.	Description	Date

Infinity Engineering Consultants, LLC

PROJECT TITLE

FLORIDA DESIRE

DESIGNED BY
DRAWN BY L. DIQUINN
DATE
SHEET TITLE PANELSCARD SCHEDULE
PROJECT NO 77250
SHEET NO E600



DATA RACK CAB
CABINET FCP

DATA BOX - FLORIDA DESIRE CENTER ROOM ACCESS CABINET						
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
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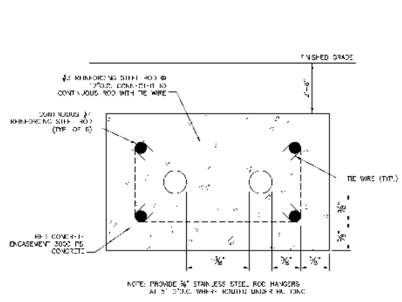
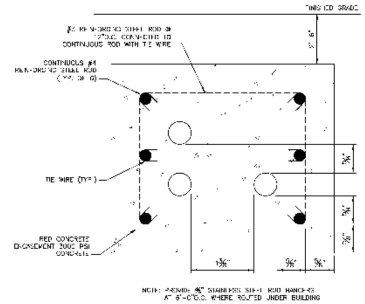


UNDERGROUND DUCTBANK FOR ELECTRICAL SERVICE

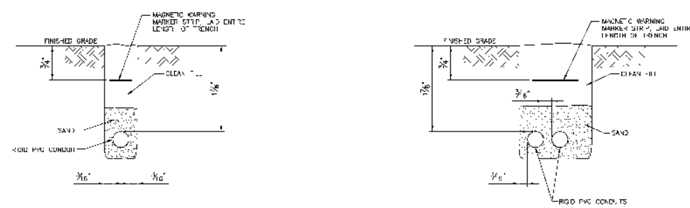
SCALE: N.T.S.



UNDERGROUND DUCTBANK FOR TELECOM SERVICE

SCALE: N.T.S.

LIGHTING FIXTURE SCHEDULE					
TYPE MARK	MANUFACTURER	MODEL	DESCRIPTION	LAMP	VOLTAGE
F1	–	–	–	LED	120VAC
F2	–	–	–	LED	120VAC
F3	–	–	–	LED	120VAC
F4				LED	120VAC
F5	–	–	–	LED	120VAC
F6	–	–	–	LED	120VAC
F7	–	–	–	LED	120VAC
F8	–	–	–	LED	120VAC
F9				LED	120VAC
F10				LED	120VAC
F11	–	–	–	LED	120VAC
F12	–	–	–	LED	120VAC
F-EX	–	–	–	LED	120VAC



UNDERGROUND CONDUIT INSTALLATION WITHOUT CONCRETE ENCASEMENT

SCALE: N.T.S.

No.	Description	Date

Infinity Engineering Consultants, LLC

PROJECT:

FLORIDA DESIRE

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PRELIMINARY
FOR REVIEW ONLY
DECEMBER 14, 2017

DRAWN BY: T. O'QUINN
C. FIER
MISCELLANEOUS DETAILS
PROJECT NO.: 77250
SHEET NO.: E700

GENERAL NOTES:

1. ALL LEGEND SYMBOLS ARE NOT NECESSARILY USED ON THIS PROJECT.
2. PROVIDE COORDINATION SHOP DRAWINGS FOR EACH COMMUNICATIONS AND TECHNOLOGY SYSTEM.
3. BACKBOX AND POWER REQUIREMENTS ARE FOR PLANNING PURPOSES ONLY. COORDINATE ACTUAL BACKBOX AND POWER REQUIREMENTS WITH VENDOR SHOP DRAWINGS AND SUBMITTALS.
4. FURNISH AND INSTALL 4'X8'X3/4" FIRE RETARDANT PLYWOOD ON ALL WALLS OF THE COMMUNICATIONS EQUIPMENT ROOMS PRIOR TO 90% AHJ.
5. CONFORM TO STATE AND LOCAL CODES FOR THE ROUGH-IN AND INSTALLATION OF THE COMMUNICATIONS AND TECHNOLOGY SYSTEMS. THIS INCLUDES, BUT IS NOT LIMITED TO, VISITING CONSTRUCTION/PLANNING SESSION, CABLE TRAY/WIREWAY OR NON-METALLIC, CABLE INSTALLATION, DRAWING LOCATIONS, WALL PENETRATIONS, AND PROTECTING SLEEVES AND CONDUITS.
6. PROVIDE AND INSTALL ALL SUPPORTS AND BACKBOXES.
7. PROVIDE SPECIAL BACKBOXES (I.E. PUBLIC ADDRESS PAGING SPEAKER BACKBOXES, ETC.) TO THE CONTRACTOR AND INSTALL THEM.
8. FURNISH, INSTALL, AND PROTECT ALL CONDUIT AND SLEEVES.
9. FURNISH AND INSTALL ALL MECHANICAL PARTS OF ASSEMBLIES.
10. CORE DRILL AND DRIVESTOP ALL FLOOR PENETRATIONS.
11. FURNISH AND INSTALL THE CABLE TRAY AND J-HOOK SYSTEM.
12. USE BICS STANDARDS WHEN DESIGNING THE CABLE TRAY AND J-HOOK SYSTEM TO ENSURE THE SIZE AND WEIGHT OF THE CABLES WILL BE PROPERLY SUPPORTED.
13. COORDINATE WITH THE COMMUNICATIONS AND TECHNOLOGY VENDORS THE EXACT QUANTITY, SIZE, AND LOCATION OF ALL WALL SLEEVES.
14. PROVIDE A MINIMUM OF ONE STUBE FOR EACH COMMUNICATIONS AND TECHNOLOGY SYSTEM FROM EACH SPACE TO THE CABLE TRAY OR J-HOOK SYSTEM IN THE NEAREST ACCESSIBLE CORRIDOR CEILING.
15. PROVIDE A MINIMUM 120 VAC, 20 AMP DEDICATED CIRCUIT FOR EACH PIECE OF COMMUNICATIONS AND TECHNOLOGY EQUIPMENT. REFER TO VENDOR SHOP DRAWINGS AND SUBMITTALS FOR MANUFACTURER RECOMMENDED POWER REQUIREMENTS.
16. CONFIRM ALL ROUGH-IN, ELECTRICAL AND EQUIPMENT LOCATION REQUIREMENTS WITH THE COMMUNICATIONS AND TECHNOLOGY VENDORS.
17. REFER TO THE ARCHITECTURAL ELEVATION DETAILS FOR FINAL EQUIPMENT LOCATIONS AND MOUNTING HEIGHTS.
18. COORDINATE THE INSTALLATION OF ALL BACKBOXES, FIRE SUPPRESSION, PLUMBING, ELECTRICAL AND MECHANICAL SYSTEMS TO NOT INTERFERE WITH ACCESS TO THE CABLE TRAY AND J-HOOK SYSTEMS. THERE SHALL BE A MINIMUM 12 INCHES CLEARANCE FOR INSTALLING CABLE IN THE CABLE TRAY AND J-HOOK SYSTEMS.
19. COMMUNICATIONS AND TECHNOLOGY CABLES SHALL NOT BE DRAPED OVER OR IMPEDE SUPPRESSION, PLUMBING, ELECTRICAL OR MECHANICAL SYSTEMS.
20. ALL VOICE AND DATA WALL OUTLET BACKBOXES, INSTALLED A 46" AFF, AND HAVE A MINIMUM 8" SLACK PROVIDED AT THE CENTER OF THE BACKBOX THAT IS OFFSET OF OTHER DEVICES OR OBSTRUCTIONS.
21. COORDINATE WITH THE VENDOR SHOP DRAWINGS AND SUBMITTALS TO ENSURE THAT BACKBOXES ARE INSTALLED TO AVOID ADDITIONAL INTERFERENCE AND OVERLAP.
22. COORDINATE THE INSTALLATION SCHEDULE WITH THE COMMUNICATIONS AND TECHNOLOGY VENDORS.
23. RECEIVE AND STORE ALL EQUIPMENT AND MATERIALS AND DELIVER THEM TO THE JOBSITE ON A JUST IN TIME BASIS. PROVIDE DRY AND SECURE ON SITE STORAGE FOR EQUIPMENT THAT WILL NOT BE INSTALLED.
24. CABLE FOR THE COMMUNICATIONS AND TECHNOLOGY SYSTEMS ARE TO BE SEPARATED BY SYSTEM AND BUNDLED TOGETHER IN THE CABLE TRAY OR J-HOOK SYSTEM.
25. FURNISH AND INSTALL IN-WALL AND ABOVE CEILING STRUCTURAL SUPPORTS FOR TELEVISION BRACKETS, VIDEO MONITORS, CAMERAS, PROJECTORS, PROJECTOR SCREENS, SPEAKERS, ETC. REFER TO VENDOR SHOP DRAWINGS AND SUBMITTALS FOR SUPPORT DETAILS.
26. INSTALL ALL WALL BRACKETS, CEILING BRACKETS, AND SHELVES. REFER TO VENDOR SHOP DRAWINGS AND SUBMITTALS FOR INSTALLATION DETAILS.
27. AT PROJECT COMPLETION, PROVIDE THE CONTRACTOR A COMPLETION CERTIFICATE CERTIFYING THAT SYSTEMS HAVE BEEN INSTALLED AND TESTED PER PROJECT SPECIFICATIONS AND MEET MANUFACTURER PERFORMANCE REQUIREMENTS.
28. EACH SYSTEM VENDOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE SYSTEM INSTALLATION, WIRING, COORDINATION, TERMINATIONS, TESTING AND COMMISSIONING.
29. ALL CONDUIT TO PASSIVE BREAKOUTS FROM FINISHED FLOOR TO CENTER OF TO OUTLET.
30. SPEAKERS IN LARGE AREAS AND CORRIDORS SHALL BE MINIMUM 70 WATT.
31. ALL DEVICE LOCATIONS AND MOUNTING HEIGHTS SHALL BE VERIFIED WITH OWNER/ARCH.

STRUCTURED CABLING, TELEPHONE & COMPUTER SYSTEMS

SYMBOL	BACKBOX	MOUNTING HEIGHT TO CENTERLINE	POWER	DESCRIPTION
VOICE OR DATA	4"	18" AFF TO THE CONTROL PANEL	N/A	VOICE AND DATA OUTLET (NUMBER OF VOICE CABLES; NUMBER OF DATA CABLES; PROPOSED NUMBER OF VOICE/DATA CABLES); SUBJECT TO ENTRY WALL TO VOICE/DATA OUTLET IN THE SAME SPACE.
	FLUSH TO SLAB	FLOOR THROUGH FLOOR-MOUNTED	120 VAC	DATA AND POWER FOR MONITOR OR PC
	N/A	PER MFG SPEC	N/A	DATA STORAGE RACK AND PATCH PANEL SYSTEM INSTALL HOST PLC, DSURF DATA CONNECTION
	N/A	N/A	N/A	FIBER OPTIC CABLE
	N/A	N/A	N/A	CONDUIT PENETRATIONS (MIN. SLIM CONDUIT)
CONTROL SPACE	N/A	ABOVE CEILING	N/A	CONDUIT WALL OR FLOOR PENETRATION (QUANTITY AND SIZE IN INCHES WILL BE NOTED)
CTV SPACE	N/A	ABOVE CEILING	N/A	SEALANT & FIRE RATED PATHWAY WALL PENETRATION (MIN. HYPHUS 3.2 IN INCHES WILL BE NOTED ON SHEETS WHICH REFER TO THIS)
CONNECT	N/A	ABOVE CEILING	N/A	CABLE TRAY PATHWAY
UNDERFLOOR	N/A	N/A	N/A	UNDERFLOOR
PBX	N/A	PER MFG SPEC	PER MFG SPEC	INSTALL PBX PHONE SYSTEM
TEL	N/A	N/A	N/A	TELEPHONE
FAX	N/A	N/A	120VAC	FAX MACHINE AND DATA OUTLET
COM	N/A	N/A	120VAC	DIRECT CARD MACHINE
NPC	N/A	N/A	120VAC	NETWORK PC
SPC	N/A	N/A	120VAC	STAND ALONE PC
WPC	N/A	FLUSH TO SLAB	120VAC	NETWORK PC MOUNTED ON WALL BRACKET
NP	N/A	N/A	120VAC	NETWORK PRINTER
LP	N/A	N/A	120VAC	LOCAL PRINTER
POS	N/A	N/A	120VAC	POINT OF SALE
CFP	N/A	N/A	120VAC	CONFERENCE NETWORK PRINTER AND SCANNER COMPUTER

NOTES:
1. PROVIDE 20" SLACK CABLE CONTROL ABOVE CEILING.
2. PROVIDE 1" CONDUIT FROM MONITOR TO THE CONTROL NETWORK PC FOR MONITOR CABLE.

ABBREVIATIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
AA	AUDIBLE ALARM	MFG	MANUFACTURER
ADO	AUTOMATIC DOOR OPERATOR	N/A	NOT APPLICABLE
AFF	ABOVE FINISHED FLOOR	P	FAN
AFF	ABOVE FINISHED FLOOR	PT	PUBLIC TELEPHONE
BTC	BELOW THROUGH CEILING	S	RAIL STORED CHANNEL
COORD	COORDINATE	RIO	ROUGH-IN ONLY
D	DOME	SPEC	SPECIFICATIONS
EX	EXISTING TO REMAIN	T	TILE
FOR	FOR STING TO BE RELOCATED	VAS	VENTILATOR AC
F	FIXED	W	WALL
IPT	HAND CARDED PAY TELEPHONE	WC	WEATHERPROOF ENCLOSURE
I	INTERFERENCE-ANNEX	WP	WEATHERPROOF

BACKBOX LEGEND

REFERENCE	BACKBOX (ORIGINAL)	DESCRIPTION
A	1GTH WITH TAC-4	4-11/16"W X 4-11/16"H X 2-1/2"D BACKBOX WITH 15/16" DEEP ONE-GANG COVER
B	HBSD WITH 2-GC	3-1/2"W X 4-11/16"H X 2-1/2"D BACKBOX WITH 15/16" DEEP TWO-GANG COVER
C	HBSD WITH 3-GC	8-5/8"W X 4-11/16"H X 2-1/2"D BACKBOX WITH 15/16" DEEP THREE-GANG COVER
D	HBSD WITH 4-GC	10-7/8"W X 4-11/16"H X 2-1/2"D BACKBOX WITH 15/16" DEEP FOUR-GANG COVER
E	HBSD WITH 5-GC	13-3/8"W X 4-11/16"H X 2-1/2"D BACKBOX WITH 15/16" DEEP FIVE-GANG COVER

NOTE:
BACKBOX AND POWER REQUIREMENTS ARE FOR PLANNING PURPOSES ONLY. THE CONTRACTOR SHALL COORDINATE ACTUAL BACKBOX AND POWER REQUIREMENTS WITH VENDOR SHOP DRAWINGS AND SUBMITTALS.

CLOSED CIRCUIT TELEVISION (CCTV) SYSTEM

SYMBOL	BACKBOX	MOUNTING HEIGHT TO CENTERLINE	POWER	DESCRIPTION
CCTV	FLUSH WITH DRAWINGS	CEILING	PER MFG SPEC	CEILING MOUNTED FIXED COLOR CAMERA FOR GENERAL SECURITY
CCTV	PER VENDOR DRAWINGS	PER VENDOR DRAWINGS	PER MFG SPEC	WALL MOUNTED FIXED COLOR CAMERA FOR GENERAL SECURITY

ACCESS CONTROL AND SECURITY SYSTEMS

SYMBOL	BACKBOX	MOUNTING HEIGHT TO CENTERLINE	POWER	DESCRIPTION
F	PER MFG SPEC	PER VENDOR DRAWINGS	PER MFG SPEC	ELECTRIC STRIKE
DPS	PER MFG SPEC	46" AFF	N/A	DOOR POSITION SWITCH
KPR	A	96" AFF	120VAC	DOORBELL BUZZER
DR	PER MFG SPEC	8" ARCH OR 46" AFF	N/A	DOOR RELEASE BUTTON
MS	PER MFG SPEC	PER VENDOR DRAWINGS	PER MFG SPEC	DOOR REVERSE MOTION DETECTOR
SLA	PER MFG SPEC	PER VENDOR DRAWINGS	PER MFG SPEC	ALARM SIGNAL
SV	PER MFG SPEC	PER VENDOR DRAWINGS	PER MFG SPEC	MAGNETIC LOCKING MECHANISM
KP	PER MFG SPEC	46" AFF	N/A	ELECTRONIC SECURITY ALARM KEYPAD
MS	PER MFG SPEC	CEILING	PER MFG SPEC	MOTION SENSOR
RCR	PER VFS SPEC	46" AFF	N/A	PROXIMITY CARD READER, ELECTRO MECHANICAL LOCK W/ DOOR POSITION SWITCH
EHS	PER VENDOR SPEC	PER VENDOR DRAWINGS	PER MFG SPEC	ELECTRONIC DOOR STRIKE

ACCESS CONTROL AND SECURITY GENERAL NOTES:

1. AT PROJECT COMPLETION, PROVIDE THE CONTRACTOR A COMPLETION CERTIFICATE CERTIFYING THAT SYSTEMS HAVE BEEN INSTALLED AND TESTED PER PROJECT SPECIFICATIONS AND MEET MANUFACTURER PERFORMANCE REQUIREMENTS.
2. SPEAKERS IN LARGE AREAS AND CORRIDORS SHALL BE MINIMUM 70 WATT.
3. CONTRACTOR SHALL COORDINATE WITH ACCESS CONTROL VENDOR FOR SYSTEM AND INSTALLATION REQUIREMENTS FOR A COMPLETE SYSTEM.

No.	Description	Date

REV 24

Infinity Engineering Consultants, LLC

PROJECT TITLE

FLORIDA DESIRE

THESE PLANS HAVE BEEN PREPARED UNDER THE SUPERVISION OF GREGORY J. LINTINGER, PE (LIC. NO. 23878) IN THE OFFICE OF INFINITY ENGINEERING CONSULTANTS, LLC.

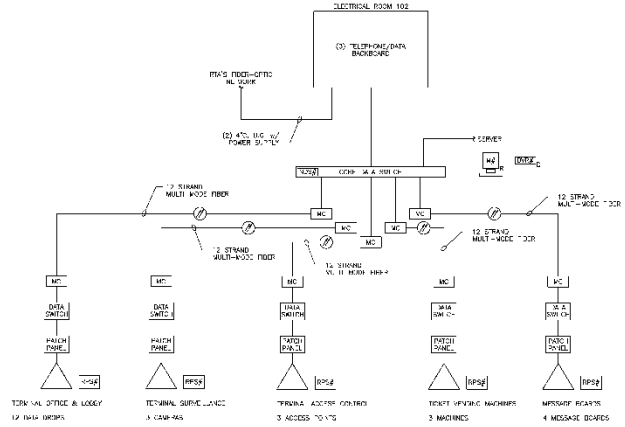
PRELIMINARY FOR REVIEW ONLY

DECEMBER 14, 2017

DESIGNED BY: C. PIER
DRAWN BY: T. DOUIN
DATE:
SCALE: NA
COMM. & TECH GENERAL NOTES AND SYMBOL LEGEND
PROJECT NO: 77250
SHEET NO: CT100

COMMUNICATION SYSTEM SYMBOL SCHEDULE

MW	VIDEO MONITOR – SPECIFICATION – LOCATION DESIGNATION MW = MONITOR SCHEDULE MONITOR – MONITOR SPECIFICATION S=STACK R=RACK O=OTHER	RPS#	RACK POWER SUPPLY – SPECIFICATION RPS# = POWER SUPPLY SCHEDULE
DVR#	SERVER NVR – SPECIFICATION NVR# = SERVER / RECORDER SCHEDULE DRIVE – MOUNTING SPACE CAMERA R = RACK W = WALL O = OTHER	TP	POWER TRANSFORMER – SPECIFICATION TP = POWER TRANSFORMER SCHEDULE
MDX#	NETWORK DATA SWITCH/MEDIA CONVERTER SPECIFICATION – MDX# – NETWORK DEVICE SCHEDULE NETWORK DEVICE – MOUNTING SPECIFICATION R = RACK W = WALL O = OTHER	MDX	MEDIA CONVERTER – SPECIFICATION MDX# = MEDIA CONVERTER SCHEDULE MEDIA CONVERTER – MOUNTING S = STATION C = CAMERA R = RACK W = WALL
CAM# PC	CAMERA – SPECIFICATION CAM# = CAMERA SCHEDULE – CAMERA SPECIFICATION PC = POLE – SEE CAMERA SCHEDULE CAMERA – MOUNTING SYMBOLS RD = ROADWAY P = POST C = COLUMN	FDP#	FIBER DISTRIBUTION PANEL – SPECIFICATION FDP# = FIBER DISTRIBUTION SCHEDULE FDP# – MOUNTING S = STATION R = RACK O = OTHER



TELECOMMUNICATIONS RISER DIAGRAM

SCALE: N.T.S.

SURVEILLANCE NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL CAMERAS, VIDEO MANAGEMENT SYSTEM, AND ALL ACCESSORIES THAT MAKE A COMPLETE SYSTEM IN ACCORDANCE AND COMPATIBLE WITH RTA'S CENTRAL SURVEILLANCE SYSTEM.
2. THE FOLLOWING ARE RTA'S PREFERRED STANDARDIZED SURVEILLANCE COMPONENTS:
   a. VIDEO MANAGEMENT SYSTEM (VMS): MILESTONE XPROTECT CORPORATE. ALL CAMERAS SHALL BE ADDED INTO THE RTA'S VMS. A MONITORING STATION SHALL BE PROVIDED BY THE CONTRACTOR AT THE SMART TERMINAL CONTROL ROOM. INSTALLATION MUST ALSO INCLUDE SOFTWARE/HARDWARE PROVISIONS FOR MONITORING FROM RTA'S CENTRAL HEADQUARTERS.
   b. CAMERAS: ANY PHOTO- OR NETWORK CAMERA. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS FOR INDOOR AND OUTDOOR INSTALLATIONS. CAMERA LOCATIONS SHOWN ON DRAWINGS. IF A HIGHER RESOLUTION VARIFOCAL OR THE ABOVE MENTIONED CAMERA IS AVAILABLE, THE CONTRACTOR SHALL SUBMIT A BID PRICE FOR THE HIGHER RESOLUTION MODEL.

ACCESS CONTROL NOTES:

1. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL ELEMENTS NECESSARY TO MAKE A COMPLETE AND FUNCTIONAL ACCESS CONTROL SYSTEM AT THE OKALA STREET FERRY TERMINAL.
2. THE FOLLOWING ARE THE RTA'S PREFERRED ACCESS CONTROL ELEMENTS BUT NOT LIMITED TO:
   a. S2 NETBOX THIS ELEMENT SHALL BE TIED INTO THE RTA'S CENTRAL ACCESS CONTROL SYSTEM VIA FIBER OPTIC NETWORK.
   b. ALL PROXIMITY CARD READERS, DOOR HARDWARE, AND ALL COMPONENTS TO MAKE THIS INSTALLATION COMPLETE SHALL BE MADE IN ACCORDANCE WITH RTA'S STANDARDS AND ENGINEER'S SPECIFICATIONS.

FIBER-OPTIC NETWORK NOTE:

1. CONTRACTOR SHALL COORDINATE WITH POWER AND UTILITY PROVIDER TO LOCATE POINT OF CONNECTION ON PROTECTED SIDE OF FLOOD WALL. CONTRACTOR'S ALL ROUTE FIBER-OPTIC CABLES FROM "TP-2" AND "DIRECTIONAL DRILL UNDER TRACKS TO "TP-3". FIBER-OPTIC CABLE SHALL BE INSTALLED HORIZONTAL TO MAINTAIN BURIAL DEPTH OF 18 INCHES AT ALL CONNECTIONS. CONTRACTOR SHALL COORDINATE WITH RTA TO ESTABLISH ALL REQUIRED NETWORK INTERCONNECTIONS.

No.	Description	Date

REV 24

Infinity Engineering Consultants, LLC

PROJECT

FLORIDA DESIRE

THESE PLANS HAVE BEEN PREPARED UNDER THE SUPERVISION OF GREGORY J. LINTINGER, PE (LA NO. 23878) IN THE OFFICE OF INFINITY ENGINEERING CONSULTANTS, LLC.

PRELIMINARY FOR REVIEW ONLY

DECEMBER 14, 2017

DRAWN BY T. DOLLINS

CHECK BY C.P.BER

DATE

SHEET TITLE COMM. & TECH RISER DIAGRAM

SHEET NO.

PROJECT NO **77250 CT200**

COMM. & TECH FLOOR PLAN

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

SCALE: 1/8" = 1'-0"

THESE PLANS HAVE BEEN PREPARED UNDER THE SUPERVISION OF GREGORY J. LINTINGER, PE (LA NO. 23878) IN THE OFFICE OF INFINITY ENGINEERING CONSULTANTS, LLC.

PRELIMINARY FOR REVIEW ONLY

DECEMBER 14, 2017

No.	Description	Date

REVISIONS

Infinity Engineering Consultants, LLC

CIVIL STRUCTURAL MECHANICAL ELECTRICAL PLUMBING

ISO-9001:2008 Certified

PROJECT TITLE

FLORIDA DESIRE

DESIGNED BY C.P.ER

CHECKED BY

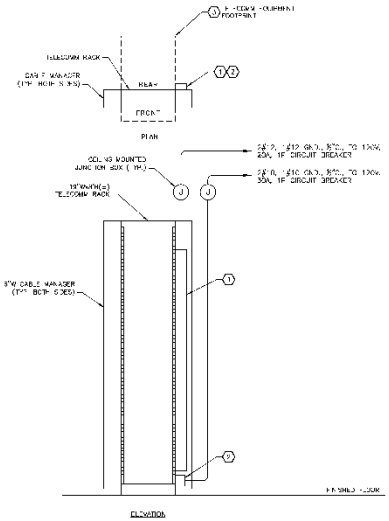
DRAWN BY T. O'QUINN

DATE

SHEET TITLE COMM. & TECH FLOOR PLAN

PROJECT NO 77250

SHEET NO. CT300

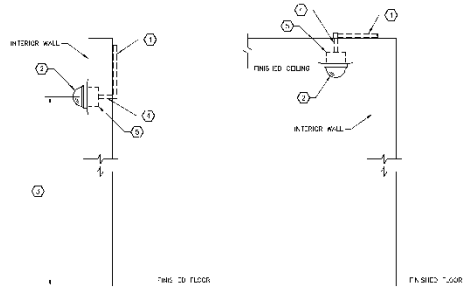


TELECOMM RACK NOTES:

1. PROVIDE (2-NO.) 20A/120VAC 4-WAY STRIP ON RACK SIDE OF CABLE MANAGER, WIRE AS SHOWN (TYP. FOR ALL RACKS)
2. PROVIDE NEMA 5-20R RECEPTACLE IN OUTLET BOX ON DOAK S.S. OF CABLE MANAGER 6" TO 12" A.F.F. WIRE AS SHOWN. (ONLY ON ONE OF THE RACKS, WHEN 2 OF 3 RACKS STAND S.S. BY SIDE).
3. MOUNTING EQUIPMENT 6" IN FRONT AND 30" 2-HRS RACK. PROVIDE NEC WORKING SPACE FRONT AND REAR.
4. TELECOMM. BACKBOARD AND WIRING BY CONTRACTOR.
5. COORDINATE WITH SUBPARTS II DEPARTMENT REQUIREMENTS INSTALLATION.

TELECOMM RACK POWER DETAIL 1

SCALE: N.T.S.



CCTV CAMERA NOTES:

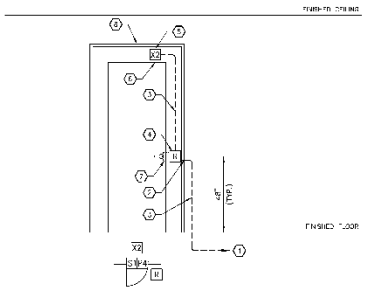
1. ROUTE CONDUIT TO NEAREST SECURITY RISER LOCATION. VERIFY EXACT CONDUIT ROUTE IN FIELD. COORDINATE TRENCHING AND CORING WITH GENERAL CONTRACTOR IF REQUIRED. UTILIZE EXISTING TRENCH IN WALL.
2. CCTV CAMERA, ENCLOSURE, MOUNT AND MOUNTING SUPPORT HARDWARE AS REQUIRED BY THE MANUFACTURER.
3. FIELD VERIFY MOUNTING HEIGHT.
4. CORE THROUGH WALL WITH 3/4" CONDUIT SLEEVE.
5. 4"x4"x2-1/8" DEEP JUNCTION BOX WITH SINGLE GANG DEVICE RING FLUSH MOUNTED IN WALL.

GENERAL NOTES:

1. DETAIL REPRESENTS TYPICAL REQUIREMENTS. SEE TERMINAL BUILDING COMM. & TECH PLAN FOR EXACT REQUIREMENTS.
2. REFERENCE COMM. & TECH SYMBOL LEGEND FOR DEVICE CONDUIT AND BACKBOX REQUIREMENTS.

CCTV CAMERA DETAIL 2

SCALE: N.T.S.



ACCESS CONTROL NOTES:

1. ROUTE CONDUIT/WIRING TO NEAREST SECURITY RISER LOCATION. REFERENCE FLOOR PLANS FOR APPROXIMATE CONDUIT ROUTE. VERIFY EXACT CONDUIT ROUTE IN FIELD. COORDINATE TRENCHING AND CORING WITH CONTRACTOR IF REQUIRED.
2. STUB CONDUIT INTO SIDE OF DOOR FRAME.
3. ROUTE WIRE THROUGH DOOR FRAME TO CARD READER, REQUEST TO EXIT MOTION SENSOR, DOOR POS ON SWITCH AND ELECTRIC STRIKE.
4. CARD READER MOUNTED ON DOOR FRAME.
5. REQUEST-TO-EXIT MOTION SENSOR MOUNTED ON DOOR FRAME.
6. CONCEALED DOOR POS ON SWITCH.
7. ELECTRIC STRIKE.
8. COORDINATE REMOVAL OF DOOR FRAME WITH GENERAL CONTRACTOR IF NECESSARY.

GENERAL NOTES:

1. DETAIL REPRESENTS TYPICAL REQUIREMENTS. SEE TERMINAL BUILDING COMM. & TECH PLAN FOR EXACT ROUTE REQUIREMENTS AT EACH DOOR.
2. REFERENCE COMM. & TECH SYMBOL LEGEND FOR DEVICE CONDUIT AND BACKBOX REQUIREMENTS.

ACCESS CONTROL DETAIL 3

SCALE: N.T.S.

No.	Description	Date

Infinity Engineering Consultants, LLC

PROJECT

FLORIDA DESIRE

PRELIMINARY FOR REVIEW ONLY

DECEMBER 14, 2017

DRAWN BY T.O.GLINK

DATE

SCALE N.S.

PROJECT NO. 77250

TITLE COMM & TECH DETAILS

SHEET NO. CT400

THESE PLANS HAVE BEEN PREPARED UNDER THE SUPERVISION OF GREGORY J. LINTINGER, PE (LA NO. 23878) IN THE OFFICE OF INFINITY ENGINEERING CONSULTANTS, LLC.

FIRE ALARM SYSTEM GENERAL NOTES:

1. FIRE ALARM SYSTEM CONDUCTORS AND CABLES SHALL BE FULLY ENCLOSED IN METAL CONDUIT. FIRE ALARM SYSTEM CONDUIT SHALL BE IDENTIFIED BY RED PAINT.
2. REFER TO MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL CONSTRUCTION DOCUMENTS AND SHOP DRAWINGS/SUBMITTALS FOR EXACT QUANTITIES AND LOCATIONS OF SMOKE DAMPERS, FIRE DAMPERS, TAMPER SWITCHES, FLOW SWITCHES, PRE-ACTION OR DRY-TYPE SPRINKLER SYSTEMS, PIV'S, DUCT SMOKE DETECTORS, ETC. REQUIRED TO BE MONITORED, ALARMED OR CONTROLLED BY THE FIRE ALARM SYSTEM.
3. PROVIDE DUCT MOUNTED SMOKE DETECTORS WITH AIR SAMPLING TUBES FOR ALL AIR HANDLING UNITS AS INDICATED ON THE FIRE ALARM SYSTEM AND MECHANICAL CONSTRUCTION DOCUMENTS. PROVIDE CEILING MOUNTED REMOTE INDICATOR AT EACH DUCT SMOKE DETECTOR.
4. SMOKE DAMPERS LOCATED IN CORRIDOR WALLS SHALL CLOSE UPON A SIGNAL FROM CORRIDOR SMOKE DETECTORS IN ACCORDANCE WITH IBC, NFPA AND ALL OTHER APPLICABLE CODES. SMOKE DAMPERS LOCATED IN NON-CORRIDOR WALLS SHALL CLOSE UPON A SIGNAL FROM DUCT MOUNTED SMOKE DETECTORS IN ACCORDANCE WITH IBC, NFPA, AND ALL OTHER APPLICABLE CODES. REFER TO MECHANICAL CONSTRUCTION DOCUMENTS FOR LOCATIONS OF DAMPERS.
5. PROVIDE FIRE ALARM SYSTEM CONNECTIONS TO HVAC SYSTEM CONTROLS AND DEVICES FOR PROPER OPERATION, INCLUDING SHUTDOWN. SEE MECHANICAL CONSTRUCTION DOCUMENTS FOR QUANTITIES, LOCATIONS, AND ADDITIONAL REQUIREMENTS. UPON DETECTION OF FIRE IN ANY AREA OF THE BUILDING (SMOKE, HEAT, OR SPRINKLER FLOW) THE FIRE ALARM SYSTEM SHALL CAUSE THE AIR HANDLING UNITS SERVING THE SMOKE COMPARTMENT WHERE THE ALARM INITIATED TO SHUTDOWN. THE EXHAUST FANS ASSOCIATED WITH THAT SMOKE COMPARTMENT TO SHUT DOWN, AND ALL SMOKE DAMPERS ASSOCIATED WITH THOSE FANS TO CLOSE. REFER TO ARCHITECTURAL DRAWINGS FOR THE BOUNDARIES OF SMOKE COMPARTMENTS AND REFER TO MECHANICAL CONSTRUCTION DOCUMENTS FOR WHICH FANS SERVE EACH SPACE. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR THE SEQUENCE OF OPERATION OF THE FIRE ALARM SYSTEM.
6. FIRE ALARM CONTROL, ALARM AND MONITORING, INCLUDING AIR HANDLING UNITS SHUTDOWN AND DAMPER CLOSURE, SHALL BE ACCOMPLISHED USING SUPERVISED FIRE ALARM WIRING TO WITHIN 3 FEET OF THE DEVICE BEING CONTROLLED OR MONITORED. FOR THE PURPOSE OF THIS MEASUREMENT ON AIR HANDLING UNITS, THE MOTOR STARTER OR VFD IS THE DEVICE BEING CONTROLLED. FOR THE PURPOSE OF THIS MEASUREMENT ON DAMPERS, THE DAMPER POWER CIRCUIT IS THE DEVICE BEING CONTROLLED, PROVIDED THE DAMPERS ARE SELF CLOSING AND HELD OPEN ELECTRONICALLY. CONTROL SIGNALS SHALL ALSO BE SENT TO THE BUILDING AUTOMATION CONTROL SYSTEM (BAS), BUT THIS DOES NOT SATISFY THE REQUIREMENT FOR SUPERVISED FIRE ALARM CONTROL OF THE DEVICES.
   - A. THE SMOKE CONTROL SYSTEM SHALL BE ACTIVATED BY SPRINKLER SYSTEM WATER FLOW SWITCHES, CORRIDOR SMOKE DETECTION, A VESD AIR SAMPLING SYSTEM SERVING THE ATRIUM OR MANUALLY VIA THE FIRE-FIGHTER'S CONTROL PANEL.
   - B. UPON ACTIVATION OF THE FIRE ALARM SYSTEM, THE SMOKE CONTROL SYSTEM SHALL BE ACTIVATED IN ACCORDANCE WITH THE INTEGRATED OPERATION MATRIX PREPARED BY THE PROFESSIONAL ENGINEER OF RECORD. THE OPERATION SHALL INCLUDE SHUTDOWN OF NORMAL HVAC WITHIN THE BUILDING, ACTIVATION OF THE SMOKE EXHAUST AND SUPPLY FANS, AND OPENING OF MAKEUP AIR DOORS.
   - C. NORMAL ACTIVATION OF THE SMOKE CONTROL SYSTEM SHALL BE BY AUTOMATIC CONTROL.
   - D. ALL SMOKE CONTROL EQUIPMENT AND CONTROLS SHALL COMPLY WITH UL 864 9TH EDITION.
7. PROVIDE FIRE ALARM SYSTEM CONNECTIONS TO ACCESS CONTROL SYSTEMS TO UNLOCK EGRESS DOORS UNDER ALARM CONDITIONS.
8. VISUAL NOTIFICATION DEVICE MOUNTING HEIGHT SHALL BE TO CENTER OF LAMP.
9. COORDINATE LOCATIONS OF CEILING MOUNTED SMOKE DETECTORS WITH MECHANICAL AND ELECTRICAL SYSTEMS AND ARCHITECTURAL REQUIREMENTS. DETECTORS SHALL NOT BE IN DIRECT AIR FLOW OR WITHIN 3 FEET OF SUPPLY DIFFUSERS.
10. PROVIDE FIRE ALARM CONNECTIONS TO AUTOMATICALLY OPERATED DOORS TO DISABLE AUTO DOOR OPENING UNDER ALARM CONDITIONS, EXCEPT FOR MAIN ENTRY DOORS UNLESS OTHERWISE NOTED.
11. PER NFPA 72, SMOKE DETECTORS SHALL BE MOUNTED ON THE CEILING NO NEARER THAN 12 INCHES FROM A SIDE WALL.
12. PER NFPA 72, IF LOCATED ON THE SIDE WALL, THE TOP OF THE DETECTOR SHALL BE LOCATED BETWEEN 4 AND 12 INCHES BELOW THE CEILING.
13. PER NFPA 72, SMOKE DETECTORS SHALL NOT BE LOCATED IN DIRECT AIR FLOW, NOR NEARER THAN 3 FEET FROM AN AIR SUPPLY DIFFUSER. ALSO DETECTORS SHALL NOT BE INSTALLED WITHIN 4 INCHES OF A SPRINKLER HEAD.
14. PER NFPA 72, SMOKE DETECTORS SHALL NOT BE INSTALLED UNTIL THE CONSTRUCTION CLEAN-UP OF ALL OTHER TRADES IS COMPLETE AND FINAL.
15. PER NFPA 72 AND ADA REQUIREMENTS, PULL STATIONS SHALL BE MOUNTED AT A HEIGHT OF 48 INCHES TO THE TOP.
16. PER NFPA 72 AND ADA REQUIREMENTS, VISUALS AND AUDIO/VISUAL VISUALS SHALL BE MOUNTED SUCH THAT THE ENTIRE LENS IS NOT LESS THAN 80 INCHES AND NOT GREATER THAN 96 INCHES ABOVE THE FINISHED FLOOR, MINIMUM 6" BELOW CEILING TO TOP OF LENS.
17. ALL WIRING SHALL BE INSTALLED PER NFPA 72.
18. ALL CONDUIT SHALL BE A MINIMUM OF 3/4".
19. ALL CONDUIT STUB-UPS SHALL HAVE BUSHING INSTALLED TO PROTECT WIRE — 3/4" MINIMUM.
20. ALL CONDUIT/WIRING SHALL ENTER/LEAVE ALL FIRE ALARM SYSTEM PANELS, POWER SUPPLIES, VOICE EVAC CABINETS, ETC. VIA THE TOP OF THE PANELS/ENCLOSURES, EXCEPT FOR WIRING BETWEEN FACP PANELS.
21. ALL VISIBLE NOTIFICATION DEVICES LOCATED WITHIN THE FIELD OF VIEW SHALL BE SYNCHRONIZED.
22. ALL AUDIBLE INDICATING APPLIANCES SHALL BE EFFECTIVELY HEARD ABOVE AVERAGE AMBIENT SOUND LEVEL OCCURRING UNDER NORMAL CONDITIONS OF OCCUPANCY.
23. THE FIRE ALARM SYSTEM INSTALLATION SHALL COMPLY WITH NFPA 72 EVEN IF COMPONENTS/DEVICES/ETC. ARE NOT SHOWN ON THE DRAWINGS.
24. IT IS NOT THE INTENTION OF THE FIRE ALARM SYSTEM DRAWINGS TO SHOW ALL MONITORING MODULES, CONTROL (COMMAND) MODULES, RELAY MODULES, POWER SUPPLIES AND TRANSPONDERS. THE FIRE ALARM SYSTEM CONTRACTOR SHALL DETERMINE COMPLETE QUANTITIES AND LOCATIONS OF ALL SYSTEM COMPONENTS REQUIRED TO PROVIDE A 100% COMPLETE AND FUNCTIONAL SYSTEM.

THESE PLANS HAVE BEEN PREPARED UNDER THE SUPERVISION OF GREGORY J. LINTINGER, PE (LA NO. 23878) IN THE OFFICE OF INFINITY ENGINEERING CONSULTANTS, LLC.

ADDITIONAL FIRE SYSTEM SPECIFICATION INFORMATION:

1. SMOKE CONTROL SYSTEM:

A. PROVIDE A SMOKE CONTROL SYSTEM WHICH IS UL 864 (UUKL PRODUCT CATEGORY) LISTED FOR SMOKE CONTROL SYSTEM SERVICE. THE SMOKE CONTROL SYSTEM SHALL BE LOCATED IN THE FIRE COMMAND CENTER. THE SYSTEM SHALL PROVIDE AUTOMATIC AND MANUAL OPERATION OF SMOKE EXHAUST FANS, MAKEUP AIR FANS, AIR HANDLING UNITS, SMOKE/FIRE DAMPERS IN ACCORDANCE WITH THE SPECIFIED SMOKE CONTROL SEQUENCE.

B. PROVIDE STATUS INDICATION OF EACH DAMPER AT THE SMOKE CONTROL PANELS; PROVIDE ALL MONITOR MODULES, WIRING, ETC. PROVIDE ADDRESSABLE MODULES TO MONITOR STATUS/OPERATION OF EACH SMOKE EXHAUST FAN, MAKEUP AIR FAN, AIR HANDLING UNIT AND DAMPER.

D. ALL STATUS INFORMATION OF EACH DAMPER SHALL BE OBTAINED DIRECTLY FROM THE DAMPER AND ITS POSITION SWITCHES, ETC. INFORMATION SHALL NOT BE OBTAINED FROM THE BUILDING AUTOMATION SYSTEM.

E. SMOKE CONTROL SYSTEM GRAPHIC ANNUNCIATOR:

2. PROVIDE AN LED INDICATING LIGHT LOCATED ON THE GRAPHIC ANNUNCIATOR TO INDICATE THE STATUS OF EACH COMPONENT OF THE SMOKE CONTROL EQUIPMENT.

3. PROVIDE HOA SWITCHES TO PERMIT FIREFIGHTERS MANUAL CONTROL OF INDIVIDUAL SMOKE CONTROL FAN OR AIR HANDLING UNIT.

4. SMOKE CONTROL PANELS: FANS WITHIN THE BUILDING SHALL BE SHOWN ON THE FIRE FIGHTER'S CONTROL PANEL. A CLEAR INDICATION OF THE DIRECTION OF AIRFLOW AND THE RELATIONSHIP OF COMPONENTS SHALL BE DISPLAYED. STATUS INDICATORS SHALL PROVIDE FOR ALL SMOKE CONTROL EQUIPMENT, ANNUNCIATED BY FAN AND ZONE AND BY PILOT LAMP TYPE INDICATORS AS FOLLOWS:

A. FANS, DAMPERS AND OTHER OPERATING EQUIPMENT IN THEIR NORMAL STATUS — WHITE.

B. FANS, DAMPERS AND OTHER OPERATING EQUIPMENT IN THEIR OFF OR CLOSED STATUS — RED.

C. FANS, DAMPERS AND OTHER OPERATING EQUIPMENT IN THEIR ON OR OPEN STATUS — GREEN.

D. FANS, DAMPERS AND OTHER OPERATING EQUIPMENT IN A FAULT STATUS — YELLOW/AMBER.

5. SMOKE CONTROL PANEL. THE FIRE-FIGHTER'S CONTROL PANEL SHALL PROVIDE CONTROL CAPABILITY OVER THE COMPLETE SMOKE-CONTROL SYSTEM EQUIPMENT WITHIN THE BUILDING AS FOLLOWS:

A. ON-AUTO-OFF CONTROL OVER EACH INDIVIDUAL PIECE OF OPERATING SMOKE CONTROL EQUIPMENT THAT CAN ALSO BE CONTROLLED FROM OTHER SOURCES WITHIN THE BUILDING. THIS INCLUDES STAIRWAY PRESSURIZATION FANS; SMOKE EXHAUST FANS; SUPPLY, RETURN AND EXHAUST FANS; ELEVATOR SHAFT FANS AND OTHER OPERATING EQUIPMENT USED OR INTENDED FOR SMOKE CONTROL PURPOSES.

B. OPEN-AUTO-CLOSE CONTROL OVER INDIVIDUAL DAMPERS RELATING TO SMOKE CONTROL AND THAT ARE ALSO CONTROLLED FROM OTHER SOURCES WITHIN THE BUILDING.

C. ON-OFF OR OPEN-CLOSE CONTROL OVER SMOKE CONTROL AND OTHER CRITICAL EQUIPMENT ASSOCIATED WITH A FIRE OR SMOKE EMERGENCY AND THAT CAN ONLY BE CONTROLLED FROM THE FIRE-FIGHTER'S CONTROL PANEL.

6. SMOKE CONTROL PANEL (CONTROL ACTION AND PRIORITIES). THE FIRE-FIGHTER'S CONTROL PANEL ACTIONS SHALL BE AS FOLLOWS:

A. ON-OFF AND OPEN-CLOSE CONTROL ACTIONS SHALL HAVE THE HIGHEST PRIORITY OF ANY CONTROL POINT WITHIN THE BUILDING. ONCE ISSUED FROM THE FIRE-FIGHTER'S CONTROL PANEL, NO AUTOMATIC OR MANUAL CONTROL FROM ANY OTHER CONTROL POINT WITHIN THE BUILDING SHALL CONTRADICT THE CONTROL ACTION. WHERE AUTOMATIC MEANS ARE PROVIDED TO INTERRUPT NORMAL, NON-EMERGENCY EQUIPMENT OPERATION OR PRODUCE A SPECIFIC RESULT TO SAFEGUARD THE BUILDING OR EQUIPMENT (I.E., DUCT FREEZESTATS, DUCT SMOKE DETECTORS, HIGH-TEMPERATURE CUTOUTS, TEMPERATURE-ACTUATED LINKAGE AND SIMILAR DEVICES), SUCH MEANS SHALL BE CAPABLE OF BEING OVERRIDDEN BY THE FIRE FIGHTER'S CONTROL PANEL. THE LAST CONTROL ACTION AS INDICATED BY EACH FIRE FIGHTER'S CONTROL PANEL SWITCH POSITION SHALL PREVAIL. IN NO CASE SHALL CONTROL ACTIONS REQUIRE THE SMOKE CONTROL SYSTEM TO ASSUME MORE THAN ONE CONFIGURATION AT ANY ONE TIME.

B. ONLY THE AUTO POSITION OF EACH THREE-POSITION FIRE-FIGHTER'S CONTROL PANEL SWITCH SHALL ALLOW AUTOMATIC OR MANUAL CONTROL ACTION FROM OTHER CONTROL POINTS WITHIN THE BUILDING. THE AUTO POSITION SHALL BE THE NORMAL, NON-EMERGENCY, BUILDING CONTROL POSITION. WHERE A FIRE-FIGHTER'S CONTROL PANEL IS IN THE AUTO POSITION, THE ACTUAL STATUS OF THE DEVICE (ON, OFF, OPEN, CLOSED) SHALL CONTINUE TO BE INDICATED BY THE STATUS INDICATOR DESCRIBED ABOVE. WHEN DIRECTED BY AN AUTOMATIC SIGNAL TO ASSUME AN EMERGENCY CONDITION, THE NORMAL POSITION SHALL BECOME THE EMERGENCY CONDITION FOR THAT DEVICE OR GROUP OF DEVICES WITHIN.

FIRE ALARM SYSTEM SYMBOL LEGEND

SYMBOL	DESCRIPTION
F	MANUAL PULL STATION
S	COMBINATION SPEAKER/STROBE WALL MOUNTED AT 80" AFF OR 6" BELOW CEILING (WHICHEVER IS LOWER)
S	COMBINATION SPEAKER/STROBE, CEILING MOUNTED
S	SPEAKER WALL MOUNTED AT 80" AFF OR 6" BELOW CEILING (WHICHEVER IS LOWER)
S	SPEAKER, CEILING MOUNTED
S	STROBE UNIT, WALL MOUNTED AT 80" AFF OR 6" BELOW CEILING (WHICHEVER IS LOWER)
S	STROBE UNIT, CEILING MOUNTED
H	COMBINATION HORN/STROBE WALL MOUNTED AT 80" AFF OR 6" BELOW CEILING (WHICHEVER IS LOWER). "C" INDICATES CEILING MOUNTED.
T	HEAT DETECTOR
	SMOKE DETECTOR
BT → BR	BEAM TYPE SMOKE DETECTOR — "BT" INDICATES BEAM TRANSMITTER, "BR" INDICATES BEAM REFLECTOR. ARROW INDICATES BEAM DIRECTION
D	ADDRESSABLE DUCT SMOKE DETECTOR (HOUSING INCLUDED) WITH SAMPLING TUBE MOUNTED IN DUCTWORK
WF	WATER FLOW SWITCH (SUPPLIED WITH SPRINKLER SYSTEM)
TS	VALVE TAMPER SWITCH (SUPPLIED WITH SPRINKLER SYSTEM)
PS	PRESSURE SWITCH (SUPPLIED WITH DRY PIPE SPRINKLER SYSTEM)
FACP	FIRE ALARM SYSTEM CONTROL PANEL
FAA	FIRE ALARM ANNUNCIATOR
FARA	FIRE ALARM SYSTEM REMOTE ANNUNCIATOR PANEL
FATC	FIRE ALARM SYSTEM TERMINAL CABINET
FVAC	FIRE ALARM SYSTEM VOICE EVACUATION PANEL
FAJB	FIRE ALARM SYSTEM JUNCTION BOX
FCPS	FIRE ALARM SYSTEM POWER SUPPLY
MIC	FIRE ALARM SYSTEM VOICE EVACUATION MICROPHONE
CM	FIRE ALARM SYSTEM ADDRESSABLE CONTROL MODULE
MM	FIRE ALARM SYSTEM ADDRESSABLE MONITORING MODULE
R O	ADDRESSABLE RELAY MODULE (O=OPEN)
MR	NON-ADDRESSABLE MULTI-VOLTAGE RELAY BACK BOX INCLUDED
PR	NON-ADDRESSABLE POWER MONITOR RELAY
	FIRE ALARM SYSTEM MAGNETIC DOOR HOLDER 4" SQUARE W/SGL. GANG PLASTER RING
RTS	REMOTE TEST SWITCH (1 GANG 2 1/2" DEEP)
SD P3-204 S	FIRE ALARM SYSTEM FIRE/SMOKE DAMPER WITH DAMPER ID DESIGNATION
RA	AREA OF REFUGE RESCUE ASSISTANCE HANDSET
F	FIREMAN'S PHONE WALL JACK
PIV	POST INDICATOR VALVE (SUPPLIED BY OTHERS)
1	SPECIFIC NOTE REFERENCE

No.	Description	Date

KEY PLAN

Infinity Engineering Consultants, LLC
CIVIL STRUCTURAL MECHANICAL ELECTRICAL MARINE

PROJECT TITLE

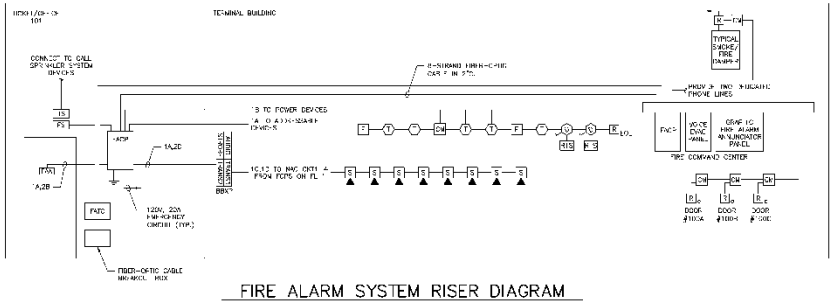
FLORIDA DESIRE

PRELIMINARY
FOR REVIEW ONLY
DECEMBER 14, 2017

DESIGNED BY | CHECKED BY: C. PIER
DRAWN BY: T. O'QUINN | DATE
SHEET TITLE: FIRE ALARM GENERAL NOTES AND SYMBOL LEGEND
PROJECT NO: 77250 | SHEET NO: FA100

FIRE ALARM SEQUENCE OF OPERATION MATRIX

INITIATION ACTION	MANUAL PULL STATION	SMOKE DETECTOR	DUCT SMOKE DETECTOR	WATER FLOW SWITCH	HEAT DETECTOR	VALVE SUPERVISORY SWITCH	OPENING, SHORTING & GROUNDING OF CIRCUITS	REMOVING, SHORTING OR OPENING SENSORS	ABNORMAL VOLTAGE DETECTED OR FACP HOLDERS	ABNORMAL SWITCH POSITION AT FACP	CHANGE OF STATE ON FIREMAN'S OVERRIDE PANEL	CHANGE OF STATE OF BUTTON ON ZONE PAGING PANELS
CONTINUOUSLY OPERATE ALARM INDICATION DEVICES	X	X	X	X	X	X						
IDENTIFY ALARM AT FIRE ALARM CONTROL UNIT AND REMOTE ANNUNCIATOR	X	X	X	X	X	X						
TRANSMIT ALARM SIGNAL TO THE MONITORING SERVICE	X	X	X	X	X	X						
UNLOCK ELECTRIC DOOR LOCKS IN ASSIGNED ZONES	X	X	X	X	X	X						
RELEASE FIRE AND SMOKE DOORS (LID OPEN 2" MAGNETIC DOOR HOLDERS)	X	X	X	X	X	X						
ACTIVATE VOICE/ALARM COMMUNICATION SYSTEM	X	X	X	X	X	X						
SWITCH HEATING, VENTILATING AND AIR CONDITIONING EQUIPMENT CONTROLS TO "FIRE ALARM" MODE	X	X	X	X	X	X						
CLOSE SMOKE DAMPERS IN AIR CHAMBERS OF HEATING AND AIR CONDITIONING DUCT SYSTEMS	X	X	X	X	X	X						
DISPLAY SUPERVISORY CONDITION AT FACP						X						
NAVIGATE SUPERVISORY SIGNAL TO THE MONITORING SERVICES						X						
TRANSMIT TROUBLE SIGNAL TO THE MONITORING SERVICES							X	X	X	X		
DISPLAY TROUBLE CONDITION AT FACP							X	X	X	X		
RECORD EVENTS IN THE SYSTEM MEMORY	X	X	X	X	X	X	X	X	X	X		
ACTIVATE CORRESPONDING PAGING ZONE												X
SHUT DOWN AND ALL PSA AUTO FANS AT ATRIUM												



FIRE ALARM SYSTEM RISER DIAGRAM

SCALE: NONE

NOTES:

1. THE FIRE ALARM SYSTEM RISER DIAGRAM IS DIAGRAMMATICAL AND DOES NOT INCLUDE CONVENTIONAL QUANTITIES AND COMPLETE CIRCUITS/WIRING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL QUANTITIES OF FIRE ALARM SYSTEM DEVICES/COMPONENTS REQUIRED.
2. PROVIDE THE NUMBER OF FIRE ALARM CONTROL PANELS, FIRE ALARM SYSTEM TERMINAL CABINETS AND POWER SUPPLIES AS REQUIRED.
3. PROVIDE SEPARATE LOOPS FOR INITIATING DEVICES, NOTIFICATION APPLIANCES AND SPEAKER CIRCUITS.
4. THE ALARM SYSTEM SHALL BE ADDRESSABLE AND MEET ALL CODE REQUIREMENTS OF CG, NFPA 72 AND ALL OTHER APPLICABLE CODES.
5. FOR ALL SYSTEM COMPONENTS, PROVIDE A DEDICATED 120V, 20A EMERGENCY CIRCUIT FROM THE NEAREST PANELBOARD TO EACH SYSTEM COMPONENT (e.g. CONTROL PANELS, POWER SUPPLIES, INTERFACE RELAYS FOR SMOKE REMOVAL SYSTEM, ETC.).
6. ALL FIRE ALARM SYSTEM POWER SUPPLIES ARE NOT SHOWN. PROVIDE ALL POWER SUPPLIES REQUIRED TO PROVIDE A COMPLETE CODE COMPLIANT INSTALLATION.
7. PROVIDE REMOTE TEST SWITCH FOR EACH DUCT SMOKE DETECTOR.
8. PROVIDE CONTROL DESIGNED SMOKE CONTROL PANEL TO PROVIDE AS A MINIMUM, MANUAL CONTROL OF OVERRIDE OF AUTOMATIC CONTROL OF SMOKE CONTROL SYSTEMS, POWER AVAILABLE STATUS, MONITORING FAULT SUPERVISION FOR ALL SMOKE CONTROL EQUIPMENT AND CONTROLS (INCLUDING DOORS, LOUVERS, FANS ETC.), OPEN/CLOSE/TROUBLE STATUS OF EACH INDIVIDUAL DAMPER, AUTO OR MANUAL CONTROL OF EACH DAMPER AND EACH ZONE AND CONTROL/STATUS OF EACH SMOKE REMOVAL FAN.
9. PROVIDE ALL REQUIRED INTERFACES WITH THE ACCESS CONTROL SYSTEM.

TA - 18/2 RED FIRE ALARM

TB - 14/2 BLUE - 120V (FROM 24VDC)

TC - 14/2 ORANGE TWISTED FOR STROBE

TD - 18/2 YELLOW TWISTED SHIELDED FOR SPEAKERS

TE - 18/2 GREEN TWISTED SHIELDED FOR ANNUNCIATOR DATA

TF - 18/2 WHITE TWISTED SHIELDED FOR PHONES

ALL WIRE TYPE THHN AND INSTALLED IN METALLIC CONDUIT

NOTE:

ALL WIRING MUST BE FREE OF GROUNDS. SHIELDED CONDUCTOR DRAIN WIRES MUST BE MADE CONTINUOUS THROUGH OUT THE CIRCUIT AND MUST BE FREE OF GROUNDS. INSULATION MINIMUM 600 VOLTS AT 194°F (90°C). AWG#18 STRANDED CONDUCTORS ARE TAPE CIRCUITS UP TO 2MILES FOR RESISTORS SHOULD READ RESISTOR WHEN READ WITH A METER AND EACH CONDUCTOR SHOULD READ OPEN TO GROUND. FOLLOWING DRAWING WIRE.

No.	Description	Date

REV. 24

Infinity Engineering Consultants, LLC

PROJECT TITLE

FLORIDA DESIRE

PRELIMINARY FOR REVIEW ONLY

DECEMBER 14, 2017

DESIGNED BY: C.P.BER
DRAWN BY: T.DOLINK
DATE:
SCALE: NONE
DRAWING TITLE: FIRE ALARM RISER DIAGRAM
PROJECT NO: 77250
SHEET NO: FA200

THESE PLANS HAVE BEEN PREPARED UNDER THE SUPERVISION OF GREGORY J. LINTINGER, PE (LA NO. 23878) IN THE OFFICE OF INFINITY ENGINEERING CONSULTANTS, LLC.

FIRE ALARM FLOOR PLAN

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

SCALE: 1/8" = 1'-0"

THESE PLANS HAVE BEEN PREPARED UNDER THE SUPERVISION OF GREGORY J. UNTINGER, PE (LA NO. 23878) IN THE OFFICE OF INFINITY ENGINEERING CONSULTANTS, LLC.

PRELIMINARY FOR REVIEW ONLY

DECEMBER 14, 2017

No.	Description	Date

REVISIONS

Infinity Engineering Consultants, LLC

CIVIL
STRUCTURAL
MECHANICAL
ELECTRICAL
PLUMBING

PROJECT TITLE

FLORIDA DESIRE

DESIGNED BY

DRAWN BY T. DIQUINN

CHECKED BY C.P.ER

DATE

SHEET TITLE FIRE ALARM FLOOR PLAN

PROJECT NO 77250

SHEET NO. FA300

Appendix C

8-Step Decision Making Process

FLOODPLAIN 8-STEP PLANNING DOCUMENT

CONSTRUCTION OF A NEW FLORIDA DESIRE MULTI-SERVICE CENTER

ORLEANS PARISH

ENVIRONMENTAL ASSESSMENT

FEMA 1603-DR-LA

Executive Order 11988 - FLOODPLAIN MANAGEMENT

Executive Order 11990 - WETLAND PROTECTION

Date: 8 January 2018
Prepared by: Laurel Rohrer, Floodplain Specialist
Applicant: City of New Orleans
Project Title: Construction of a New Desire Florida Multi-Service Center
Project Location:

Northwest Corner	Latitude: 29.994273 N	Longitude: -90.033362 W
Northeast Corner	Latitude: 29.994619 N	Longitude: -90.032273 W
Southeast Corner	Latitude: 29.993714 N	Longitude: -90.032092 W
Southwest Corner	Latitude: 29.993632 N	Longitude: -90.033521 W

Hurricane Katrina, DR-1603, impacted Orleans Parish Louisiana and resulted in a presidentially declared major disaster. The City of New Orleans (CNO, the Applicant), including the community centers in the Desire neighborhood, were damaged by storm flooding and wind. These facilities were deemed eligible for rehabilitation by the Federal Emergency Management Agency (FEMA) Public Assistance Grant Program. The objective of this program is to provide assistance to State, Tribal and local governments, and certain types of private nonprofit organizations, so that communities can quickly respond to, recover from, and mitigate major disasters and emergencies.

The Applicant has requested, through the State of Louisiana Governor's Office of Homeland Security and Emergency Preparedness (LA GOHSEP), that FEMA provide disaster assistance consisting of federal grant funds in accordance with the provisions of the Stafford Act. FEMA has determined that the CNO is eligible for federal disaster public assistance and that CNO's community facilities are eligible for repairs.

Consequently, in accordance with 44 C.F.R. § 206.203(d)(1), the CNO has requested an Improved Project, which will allow funds to restore the pre-disaster function of the Desire Florida Community Center in a more suitable location. The pre-disaster function and services of the Desire neighborhood's damaged community center would be maintained.

For the current request, CNO proposes to construct a new approximately 10,000 square foot Desire Florida Multi-Service Center on an approximate 3 acre lot with a public parking areas. The proposed structures would meet all Federal, State, and local codes and would be compliant with the Americans with Disabilities Act (ADA) and have onsite parking for staff and visitors. The construction contract would be issued in compliance with the FEMA procurement regulations. The project would be constructed in conformity with applicable conditions of all required permits.

FEMA is preparing a National Environmental Policy Act (NEPA) Environmental Assessment (EA), incorporated by reference herein, to analyze potential environmental impacts of the proposed project, including those affecting facilities in the base floodplain and protection of wetlands. FEMA will use the findings in the EA to determine whether to prepare an Environmental Impact Statement (EIS) or a Finding

of No Significant Impact (FONSI), and to support the floodplain and wetland "eight-step" planning and public participation requirements in 44 C.F.R. Part 9.

44 C.F.R. 9.6 details an eight-step process that decision-makers must use when considering projects that have potential impacts to or within the floodplain. The eight-step process assesses the action with regard to human susceptibility to flood harm and impacts to wetlands. The eight-step analyzes principle flood problems, risks from flooding, history of flood loss, and existing flood protection measures. The process includes public notice and opportunity for the public to have early and meaningful participation in decision-making and alternative selection. In conjunction with the EA development, the eight-step process formulates and describes considered alternatives; determines their practicability; and includes requirements to incorporate measures to minimize and mitigate potential risks from flooding and impacts to wetlands.

Regulatory Setting

Executive Order (E.O.) 11988, Floodplain Management, requires federal agencies to avoid direct or indirect support or development within or affecting the 1% annual chance Special Flood Hazard Area (SFHA) (i.e., the 100-year floodplain) whenever there is a practicable alternative (U.S. President 1977a) (for "Critical Actions," within the 0.2% annual chance floodplain, i.e., the 500-year floodplain). FEMA's regulations for complying with E.O. 11988 are found at 44 C.F.R. § 9, Floodplain Management and Protection of Wetlands (1980).

Existing Conditions

In July 2005, prior to Hurricane Katrina, FEMA initiated a series of flood insurance studies for many of Louisiana's coastal parishes as part of the Flood Map Modernization Effort through FEMA's National Flood Insurance Fund. These studies were necessary because the flood hazard and risk information shown on the effective Flood Insurance Rate Maps (FIRMs) were developed during the 1970s. Since that time, the physical terrain had changed considerably, including the significant loss of wetland areas. After Hurricanes Katrina and Rita, FEMA expanded the scope of work to include all of coastal Louisiana. The magnitude of impacts caused by the two (2) hurricanes reinforced the urgency to obtain additional flood recovery data for the coastal zones of Louisiana. More detailed analysis was possible because new data obtained after the hurricanes included information on levees and levee systems, new high-water marks, and new hurricane parameters.

During an initial post-hurricane analysis, FEMA determined that the 100-year or 1% annual chance storm flood elevations on FIRMs for many Louisiana communities, referred to as Base Flood Elevations (BFEs), were too low. FEMA created recovery maps showing the extent and magnitude of the surges from Hurricanes Katrina and Rita, as well as information on other storms over the past 25 years. The 2006 advisory flood data shown on the recovery maps for the Louisiana-declared disaster areas indicated high-water marks surveyed after the storm, flood limits developed from these surveyed points, and Advisory Base Flood Elevations, or ABFEs. These recovery maps and other advisory data were developed to assist parish officials, homeowners, business owners, and other affected citizens with their recovery and rebuilding efforts. Orleans Parish ABFE Maps (DHS 2006) are currently used by the Orleans Parish NFIP community for floodplain management purposes.

Updated preliminary flood hazard maps from an intensive five-year mapping project guided by FEMA were provided to all Louisiana coastal parishes. These maps, released in early 2008, known as Preliminary Digital Flood Insurance Rate Maps (DFIRMs), were based on the most technically advanced flood insurance studies ever performed for Louisiana, followed by multiple levels of review. The DFIRMs provided communities with a more scientific approach to economic development, hazard mitigation planning, emergency response, and post-flood recovery.

The USACE has completed and certified the new Hurricane and Storm Damage Risk Reduction System (HSDRRS) for the Greater New Orleans area (DHS 2011). This 350-mile system of levees, floodwalls, surge barriers, and pump stations will reduce the flood risk associated with future storm events. In

September 2011, the USACE provided FEMA with assurances that the HSDRRS is capable of defending against a storm surge with a 1% annual chance of occurrence (DHS 2011). The areas protected include portions of St. Bernard, St. Charles, Jefferson, Orleans, and Plaquemines Parishes. Although the 100-year perimeter system is now complete, additional contracts for armoring and environmental mitigation are either ongoing or have not yet been awarded (DoA 2014). In November 2012, FEMA revised the 2008 preliminary DFIRMs within the HSDRRS to incorporate the reduced flood risk associated with the system improvements. The preliminary DFIRMs were subsequently revised in 2013 and 2014.

The 2014 Revised Preliminary DFIRMs, which became Effective DFIRMs on 30 September 2016, are currently viewed as the best available flood risk data for the Orleans Parish. In many areas, the flood risk has been significantly reduced due to heightened protection. No project should be built to a floodplain management standard that is less protective than what the community has adopted in local ordinances through its participation in the National Flood Insurance Program (DHS 2011).

Orleans Parish enrolled in the NFIP on 3 August 1970. This project is located within a levee-protected area of the 100-year floodplain. Effective DFIRM Panel 22071C0231F, which became effective on 30 September 2016 (*Figure 5)*, indicates that a relatively small area along the western boundary of the project site is located in Flood Zone AE (EL -3), an area levee-protected from the base flood but subject to the 1% annual chance flood, i.e. the 100-year floodplain (dark gray areas on the DFIRM). This area would be constructed as a parking area only, and not where the proposed structure would be constructed. The majority of site lot, including the area where the Florida Desire Multi-Service Center would be constructed is located in Flood Zone Shaded "X," an area levee-protected from the base flood but subject to the 0.2% annual chance flood, i.e. the 500-year floodplain, based upon shallow ponding only (light gray areas on the DFIRM). According to Google Earth, ground elevations within the area are approximately 0 feet above sea level (North American Vertical Datum of 1988). In compliance with E.O. 11988, an 8-step process was completed and is included below.

STEP 1 **Determine whether the proposed actions are located in a wetland and/or the 100-year floodplain (500-year floodplain for critical actions [44 C.F.R. § 9.4]), or whether they have the potential to affect or be affected by a floodplain or a wetland (see 44 C.F.R. § 9.7).**

Alternative 2: Construct a new Florida Desire Multi-Service Center at Higgins Boulevard and Desire Parkway (Preferred Alternative) - Effective DFIRM Panel: 22071C0231F (dated 30 September 2016) places the majority of the project location in a Shaded "X" Flood Zone (Levee Protected from the Base Flood and partially in an area of the 0.2% annual chance flood from ponding) and a small portion of the project location in an AE (EL -3) Flood Zone (Levee Protected from the Base Flood and partially in an area of the 1% annual chance flood).

A review of the U.S. Fish and Wildlife National Wetland Inventory indicates the proposed project location not is located in a mapped wetland or U.S. waters.

Alternative 3: Alternative 3 – Construct the new facility at the Pre-Hurricane Katrina location of the Desire facility at Louisa Street and Florida Avenue - Effective DFIRM Panel 22071C0231F, which became effective on 30 September 2016, indicates that the alternative project site is located in Flood Zone AE (EL -3), an area levee-protected from the base flood but subject to the 1% annual chance flood, i.e. the 100-year floodplain.

A review of the U.S. Fish and Wildlife National Wetland Inventory indicates the proposed project location not is located in a mapped wetland or U.S. waters.

STEP 2 **Notify the public at the earliest possible time of the intent to carry out an action in a floodplain or wetland, and involve the affected and interested public in the decision making process (see 44 C.F.R. § 9.8).**

Notice will be or has been provided by: A cumulative public notice was published in the New Orleans *Times Picayune*, Baton Rouge *Advocate*, Lafayette *Daily Advertiser*, Lake Charles *American Press* and the Hammond *Star* on 7-9 November 2005.

STEP 3 **Identify and evaluate practicable alternatives to locating the proposed action in a floodplain or wetland (including alternative sites, actions and the "no action" option) [see 44 C.F.R. § 9.9]. If a practicable alternative exists outside the floodplain or wetland, FEMA must locate the action at the alternative site.**

- **Alternative 1: No Action –** Under the "No Action" alternative, there would be no new construction of the Desire Florida Multi-Service Center. Consequently, the Desire neighborhood would continue to have sub-optimal community service facilities, as no new facility would be constructed. "No Action" would forego the opportunity to improve community services for the Desire neighborhood.
- **Alternative 2: Construct a new Florida Desire Multi-Service Center at Higgins Boulevard and Desire Parkway (Preferred Alternative) -** This alternative includes the design, construction, and furniture, fixtures, and equipment (FFE) for the new Desire Florida Multi-Service Center in the Desire neighborhood of New Orleans. The existing lot would be graded to accommodate the new structures and parking lots, and the new structure constructed in the center of the proposed site.

  The property proposed for the new Desire Florida Multi-Service Center is currently an undeveloped, cleared, approximately 2.5 acre lot located in the Desire neighborhood of New Orleans. The lot is bordered on the north by Higgins Boulevard, to the east by Desire Parkway, to the south by undeveloped, cleared land, and to the west by Piety Street.

- **Alternative 3 – Construct the new facility at the Pre-Hurricane Katrina location of the Desire facility at Louisa Street and Florida Avenue -** For this alternative, the CNO would reconstruct the new Florida Desire facility at CNO-owned, pre-Hurricane Katrina, location of the Desire Multi-Service Center at the intersection of Louisa Street and Florida Avenue, which is located at 29.984987, -90.036581, in a similar configuration and of similar size to Alternative 2 to serve the needs of Desire community (*Figure 7*). This alternative site is bounded to the north by Industry Street, to east by Piety Street, to the south by Florida Avenue, and to the west by Louisa Street.

STEP 4 **Identify the full range or potential direct or indirect impacts associated with, the occupancy or modification of floodplains and wetlands and the potential direct and indirect support of floodplain and wetland development that could result from the proposed action (see 44 C.F.R. § 9.10).**

- **Alternative 1: No Action –** The "No Action" alternative would not entail any construction of the new Desire Florida Multi-Service Center. This course would have no further adverse impacts to the floodplain.

- **Alternative 2: Construct a new Florida Desire Multi-Service Center at Higgins Boulevard and Desire Parkway (Preferred Alternative) –** Alternative 2 was reviewed for possible impacts associated with occupancy or modification to a floodplain. Although the character of the proposed site will change significantly from currently undeveloped and cleared to developed with impervious surfaces, due to the relatively small size of the site, impacts to the nature of the floodplain itself have been

determined to be negligible. Construction of the Desire Florida Multi-Service Center would not significantly affect the functions and values of the 100-year floodplain since these actions would not significantly impede or redirect flood flows.

Per 44 C.F.R. § 9.11(d)(6), no project should be built to a floodplain management standard that is less protective than what the community has adopted in local ordinances through their participation in the NFIP. The Applicant would be required to coordinate with the local floodplain administrator regarding floodplain permit(s) prior to the start of any activities. Per 44 C.F.R. § 9.11(d)(9), for the replacement of building contents, materials, and equipment, where possible disaster-proofing of the building and/or elimination of such future losses should occur by relocation of those building contents, materials, and equipment outside or above the base floodplain.

- **Alternative 3 – Construct the new facility at the Pre-Hurricane Katrina location of the Desire facility at Louisa Street and Florida Avenue –** Alternative 3 was reviewed for possible impacts associated with occupancy or modification to a floodplain. Although the character of the proposed site will change significantly from currently undeveloped and cleared to developed with impervious surfaces, due to the relatively small size of the site, impacts to the nature of the floodplain itself have been determined to be negligible. Construction of the Desire Florida Multi-Service Center would not significantly affect the functions and values of the 100-year floodplain since these actions would not significantly impede or redirect flood flows.

  Per 44 C.F.R. 9.11(d)(6), no project should be built to a floodplain management standard that is less protective than what the community has adopted in local ordinances through their participation in the NFIP. The Applicant would be required to coordinate with the local floodplain administrator regarding floodplain permit(s) prior to the start of any activities. Per 44 C.F.R. § 9.11(d)(9), for the replacement of building contents, materials, and equipment, where possible disaster-proofing of the building and/or elimination of such future losses should occur by relocation of those building contents, materials, and equipment outside or above the base floodplain.

STEP 5 **Minimize the potential adverse impacts and support to or within floodplains and wetlands to be identified under Step # 4, restore and preserve the natural and beneficial values served by floodplains, and preserve and enhance the natural and beneficial values served by wetlands (see 44 C.F.R. § 9.11).**

The construction of the new Desire Florida Multi-Service Center shall be completed in accordance with all local floodplain ordinances with applicable codes and standards applied to mitigate and minimize adverse effects (compliance with minimum National Flood Insurance Program standards and requirements). In order to minimize indirect impacts (erosion, sedimentation, dust and other construction-related disturbances) to the nearby waters of the United States and well-defined drainage areas surrounding the site, the contractor should implement Best Management Practices (BMPs) that meet the Louisiana Department of Environmental Quality's (LDEQ's) permitting specifications for storm water discharge regulated under §§ 401 and 402 of the CWA, and include the following into the daily operations of the construction activities: silt screens, barriers (e.g., hay bales), berms/dikes, and/or fences to be placed where and as needed.

STEP 6 **Reevaluate the proposed action to determine first, if it is still practicable in light of its exposure to flood hazards, the extent to which it will aggravate the hazards to others and its potential to disrupt floodplain and wetland values and second, if alternatives preliminarily rejected at Step # 3 are practicable in light of the information gained in**

Steps # 4 and # 5. FEMA shall not act in a floodplain or wetland unless it is the only practicable location (see 44 C.F.R. § 9.9).

The proposed action is the chosen practicable alternative based upon a review of possible adverse effects on the floodplain and community and socioeconomic expectations.

STEP 7 **Prepare and provide the public with a finding and public explanation of any final decision that the floodplain or wetland is the only practicable alternative (see 44 C.F.R. § 9.12).**

A public notice will be published as part of the NEPA Environmental Assessment for the proposed action.

STEP 8 **Review the implementation and post-implementation phases of the proposed action to ensure that the requirements of the order are fully implemented. Oversight responsibility shall be integrated into existing processes.**

Project shall be reviewed by FEMA at grant closeout to ensure the project was completed in accordance with all relevant and applicable floodplain ordinances, codes and standards and that all project actions were undertaken in accordance with terms and conditions stipulated to mitigate and minimize adverse effects in or to the floodplain and wetlands. Approval conditioned on reviews of implementation and post implementation phases to ensure compliance with the order(s).

Project has been reviewed for compliance with 44 CFR Part 9.

Appendix D

Agency Correspondence

From: Rohrer, Laurel
To: "martinez.eli@epa.gov"; "linda.piper@la.gov"
Subject: SOV request - AI 2532 Construction of a new Desire Florida Multi-Service Center
Date: Friday, January 05, 2018 3:25:00 PM
Attachments: CNO - Desire Florida Multi-Service Center SOW.docx

---

U.S. Department of Homeland Security
Federal Emergency Management Agency FEMA-DR 1603 LA
1500 Main St.
Baton Rouge, LA 70802

January 5, 2018

MEMORANDUM TO: See Distribution

SUBJECT: Scoping Notification/Solicitation of Views
AI 2532 City of New Orleans – Construction of a New Desire Florida Multi-Service Center
New Orleans, LA 70126

Mr. Martinez and Ms. Piper,

FEMA will be preparing an Environmental Assessment (EA) for the above referenced project. To assist us in preparation of the EA, we request that your office review the attached SOV memo, including site location figures, and construction plans for a determination of any formal consultation, regulatory permitting, or other authorization requirements.

The proposed improved project would involve the construction of a new Multi-Service Center in the Desire Neighborhood of New Orleans on a currently underdeveloped site. This facility is being constructed to replace community centers in the Desire area that were damaged as result of Hurricane Katrina. Please see attached SOV memo for details of the proposed project locations and scope of work.

Thank you in advance for your time and attention to this matter.

Distribution: USEPA, LDEQ

Laurel Rohrer (CTR)
NISTAC Contractor
Federal Emergency Management Agency
1100 Robert E. Lee Blvd.
New Orleans, LA 70124
(504) 343-5749 (FEMA cell)
(540) 842-3300 (personal cell)
Email: Laurel.Rohrer@associates.fema.dhs.gov

U.S. Department of Homeland Security
Federal Emergency Management Agency
FEMA-DR 1603/1607 LA
Louisiana Recovery Office
1500 Main Street
Baton Rouge, LA 70802

1/5/2018
Project: City of New Orleans
Construction of New Desire Florida Multi-Service Center
Parish: Orleans Parish
Latitude/Longitude: Approximate Location of New Multi-Service Center Structure - 29.993858, -90.032784

Scope of Work:

(Preferred Action) – Construct a new Desire Florida Multi-Service Center at the Intersection of Higgins Boulevard and Desire Parkway

This alternative includes the design, construction, and furniture, fixtures, and equipment (FFE) for a new Florida Desire Multi-Service Center building in the Desire neighborhood of New Orleans. The existing project site is currently undeveloped. The lot would be graded as necessary to accommodate the new structure and associated parking lots.

The property proposed for the new Florida Desire Multi-Service Center is currently an undeveloped, but cleared with evidence of possible development that existed on the site previously. The footprint of the proposed project location is depicted in *Figures 1 and 2.* The proposed project site is an approximate 3 acre lot located in the Desire neighborhood of New Orleans. According to the CNO Property Viewer, the Housing Authority of New Orleans (HANO) owns the proposed project lot. The lot is bordered on the north by Higgins Boulevard, to the east by Desire Parkway, to the south by undeveloped, cleared land, and to the west by Piety Street. *Table 1* defines the four (4) corners of the proposed project site.

Table 1. Four Corners of the Proposed Florida Desire Multi-Service Center Project Site

Corner	Latitude	Longitude
Northwest	29.994273	-90.033362
Northeast	29.994619	-90.032273
Southeast	29.993714	-90.032092
Southwest	29.993632	-90.033521

Under this Alternative, the CNO would construct a new approximate 10,000 square foot (sf) multi-service center for the use of residents of the Desire neighborhood. The proposed multi-service center would provide community meeting rooms, multi-purpose rooms, a commercial kitchen, and office space. The proposed structure would meet all Federal, State, and local codes, be compliant with the Americans with Disabilities Act (ADA) and have onsite parking for staff and visitors. *Figure 3* depicts a schematic plan showing the locations of the proposed structure and associated parking lots.

As shown in *Figure 3*, the proposed multi-service center would be constructed in the center of the site. Parking areas for a total of 57 vehicles would be constructed to the east and west of the multi-service center. The purpose multi-service center would be accessible from both Higgins Boulevard and Desire Parkway via four driveways. Maintained green spaces would be constructed on the property near the parking areas. There would be several areas where clusters of trees would exist on the site.

Figure 1 – Project Vicinity in the Desire neighborhood of Orleans Parish. The proposed project area is depicted in red. (Image Source – Google Earth 2018)

Figure 2 - Aerial overview of the proposed project footprint, outlined in red. (Image Source - Google Earth 2018)

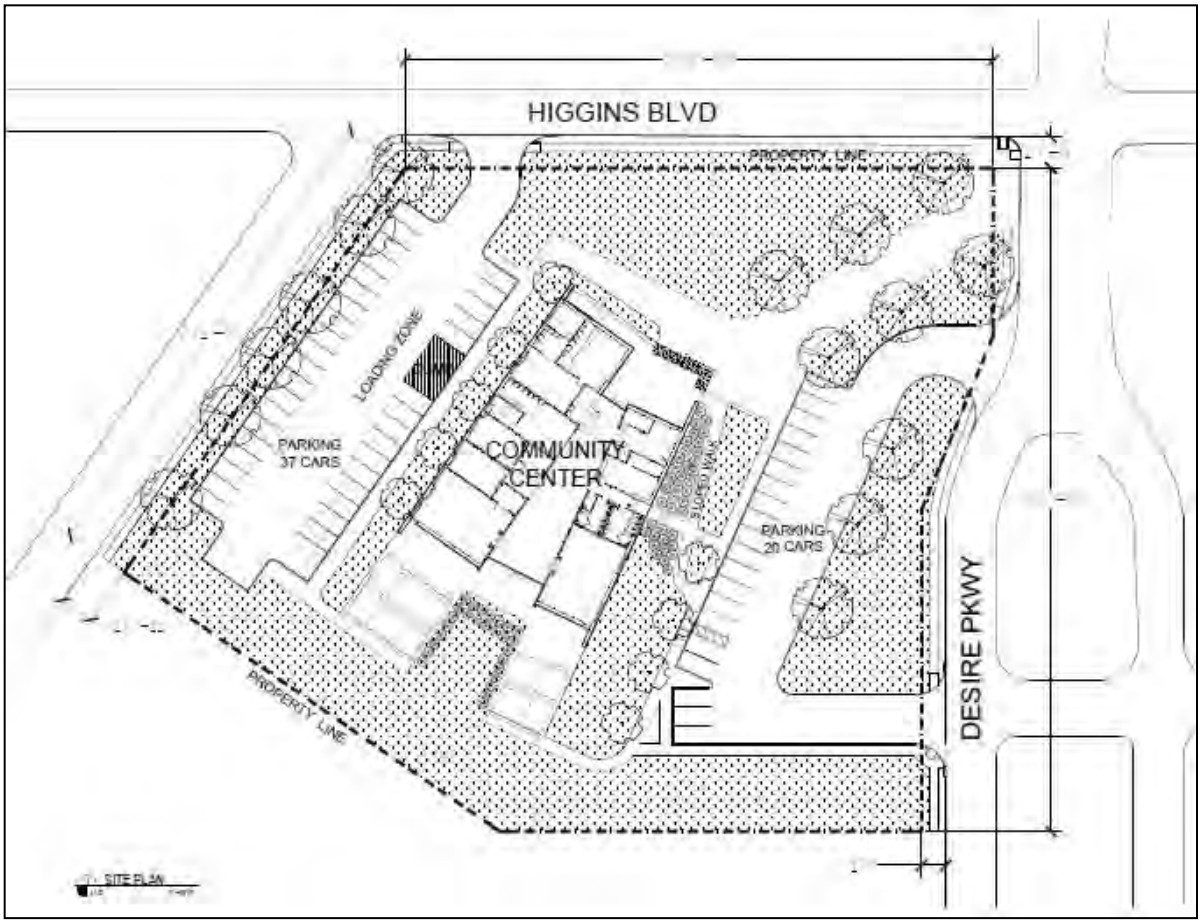


Figure 3– Schematic image depicting the overall proposed project plans. (Image Source: City of New Orleans Florida Desire Multi-Purpose Center, Design Development Submittal, Mathes Brierre Architects.)

JOHN BEL EDWARDS
GOVERNOR

THOMAS F. HARRIS
SECRETARY

State of Louisiana

DEPARTMENT OF NATURAL RESOURCES

OFFICE OF COASTAL MANAGEMENT

01/12/2018

FEMA
1100 ROBERT E. LEE BLVD
NEW ORLEANS, LA 70124

RE: P20180021, Solicitation of Views
FEMA
Description: The scope of work includes the design, construction, and furniture, fixtures, and equipment (FFE) for a new Florida Desire Multi-Service Center building in the Desire neighborhood of New Orleans. The existing project site is currently undeveloped. The lot would be graded as necessary to accommodate the new structure and associated parking lots.
Location: Lat. 29º 59' 38.06"N / Long. 90º 01' 58.02"W; 3400 Desire Parkway, New Orleans, LA 70126.
Orleans Parish, LA

Dear Laurel Rohrer:

We have received your Solicitation of Views for the above referenced project, which has been found to be inside the Louisiana Coastal Zone. In order for us to properly review and evaluate this project, we require that a complete Coastal Use Permit Application packet (Joint Application Form, locality maps, project illustration plats with plan and cross section views, etc.) along with the appropriate application fee be submitted to our office. Using your complete application, we can provide you with an official determination, and begin the processing of any Coastal Use Permit that may be required for your project. You may obtain a free application packet by calling our office at (225) 342-7591 or (800)-267-4019, or by visiting our website at http://www.dnr.state.la.us/crm/coastmgt/cup/cup.asp.

We recommend that, during your planning process, you make every effort to minimize impacts to vegetated wetlands. As our legislative mandate puts great emphasis on avoiding damages to these habitats, in many cases the negotiations involved in reducing such disturbances and developing the required mitigation to offset the lost habitat values delay permit approval longer than any other factor. Additionally, the following sensitive features may require additional processing time by the appropriate resource agencies:

Orleans Levee District - Permittee shall, prior to commencement of the herein permitted activities, contact Billy Wall (phone: 225-342-9423, email: billy.wall@la.gov) to determine if a construction permit will be required from the local levee district. This determination does not eliminate the need to obtain a permit from the United States Army, Corps of Engineers or any other Federal, state or local

approval that may be required by law. The drawings submitted with your referenced application are attached hereto and made a part of the record. If you have any questions regarding this authorization, please contact our office (225) 342-7591 or (800) 267-4019.

CPRA Master Plan features (PO-0063) Lake Pontchartrain & Vicinity located within project buffer zone.

Chitimacha Aboriginal Grounds - The area where the project is located is all part of the aboriginal homelands of the Chitimacha Tribe of Louisiana. As such, large villages, burial sites, and sacred sites were in place in that entire area. If at any time during the course of the work, any traditional cultural properties are discovered, Permittee shall immediately contact Kimberly S. Walden (Cultural Director) or Melanie Aymond (Research Coordinator) at (337) 923-9923 or (337) 923-4395. Office hours are Monday through Thursday from 7:30 A.M. - 5:00 P.M. and on Friday between 7:30 A.M. - 11:30 A.M. If traditional cultural properties are discovered on the weekend or after business hours, the notification shall be made the next business morning.

Should you desire additional consultation with our office prior to submitting a formal application, we recommend that you call and schedule a pre-application meeting with our Permit Section staff. Such a preliminary meeting may be helpful, especially if a permit application that is as complete as possible is presented for evaluation at the pre-application meeting.

If you have any questions, would like to request an application packet or would like to schedule a pre-application meeting, please contact Brad Hester at (225) 342-7472 or brad.hester@la.gov.

Sincerely,

Karl L. Morgan
Administrator

Karl L. Morgan/bh

Attachments

Final Plats:

1) P20180021 Final Plats 01/09/2018

cc: Jessica Diez, OCM w/plats
Craig Leblanc, Frank Cole, CMD/FI w/plats
Orleans Parish w/plats

U.S. Department of Homeland Security
Federal Emergency Management Agency
FEMA-1603/1607-DR-LA
FEMA Louisiana Recovery Office
Environmental/Historic Preservation
1500 Main Street
Baton Rouge, LA 70802

February 21, 2018

Kristin Sanders
Deputy State Historic Preservation Officer
Department of Culture, Recreation & Tourism
1051 North Third Street
Baton Rouge, LA 70802

RE: Section 106 Review Consultation, Hurricane Katrina, FEMA-1603-DR-LA
Subrecipient: City of New Orleans
Undertaking: Construction of the Desire Florida Multi-Service Center, Corner of Higgins Boulevard & Desire Parkway, New Orleans, Orleans Parish, Louisiana (29.994039, -90.032737)(AI 2546)
Determination: No Historic Properties Affected

Dear Ms. Sanders:

The Federal Emergency Management Agency (FEMA) will be providing funds authorized under the Robert T. Stafford Disaster Relief and Emergency Assistance Act, P.L. 93-288, as amended, in response to the following major Disaster Declarations:

FEMA-1603-DR-LA, dated August 29, 2005, as amended.

FEMA, through its Public Assistance Program, proposes to fund the construction of the Desire Florida Multi-Service Center (Undertaking) as requested by the City of New Orleans (Subrecipient). FEMA is initiating Section 106 review for the above referenced properties in accordance with the "Programmatic Agreement Among the Federal Emergency Management Agency, the Louisiana State Historic Preservation Officer, the Governor's Office Of Homeland Se Department of Culture, Recreation & Tourism with the opportunity to consult on the proposed Undertaking. Documentation in this letter is consistent with the requirements in 36 CFR §800.11(d).

Description of the Undertaking
The City of New Orleans proposes to construct a building to serve as a Multi-Service Center for the Desire Florida neighborhood. The one-story building will be situated at the corner of Higgins Blvd. and Desire Pkwy. The Undertaking will also include landscaping, utilities, sidewalks, walkways, ADA ramps, retention/detention ponds, and parking areas (Figures 1 and 2.)

Area of Potential Effects (APE)

In accordance with Stipulation II.C.(2) of the 2016 Statewide PA, this letter serves as coordination for the standing structures and archaeological APE. The standing structures APE is limited to the subject property. The archaeological APE measures 3.8 acres (1.5 ha) and takes into account all ground-disturbing activities, including site preparation and construction (Figure 3).

Identification and Evaluation

Standing Structures

Historic Properties within the APE were identified based on FEMA's review of the National Register of Historic Places (NRHP) database and the Louisiana Cultural Resources Map by FEMA Historic Preservation staff. This data was evaluated by FEMA using the National Register (NR) Criteria.

The proposed project site is a vacant lot. FEMA determined that the proposed site of the Desire Florida Community Center is not located within a listed National Register Historic District (NRHD).

Archaeology

Upon consultation of data provided by SHPO on February 20, 2018, there are four recorded archaeological sites within ½ mile of the archaeological APE: 16OR348, 16OR349, 16OR350, and 16OR351 (Figure 4). All four sites are historic residences dating from circa 1950. All four were identified by a FEMA post-Katrina walk-over after demolition. None of the sites have been assessed for their eligibility on the NRHP. However, none of these sites are within the Archaeological APE and will not be affected by the construction of the new multi-service center.

The Hardee 1878 map and New Orleans 1891 quad identifies that the APE was originally in backswamp. The New Orleans Northeast 1932 and 1954 quads identify the APE as undeveloped "green space." The New Orleans Northeast 1967 quad has the area platted. No individual Sanborn sheets are available, but the main sheet for Vol. 9, Sheet 0b, 1937-1951, identifies the area is platted, but has no housing information. Historic construction within the APE includes the northwest portion of the Desire public housing development. After the demolition of the housing development in 2003, the archaeological APE was used as a yarding area between 2005 and 2010. The remains of the hard surface used for the yarding can still be seen in Figure 3. The APE is located within the Orleans Parish Low Archaeological Probability Zone. The soils are Convent-Commerce-Sharkey, a recent alluvium.

Based upon available evidence it is unlikely that intact NRHP-eligible archaeological deposits would be recovered during the construction of the Desire Florida Multi-Service Center as the APE was originally backswamp, the only construction was the Desire housing that was demolished in 2003, and after the housing development demolition the area was used for yarding trailers and equipment.

Assessment of Effects

Based on the aforementioned identification and evaluation, FEMA has determined that there are no historic properties as defined in 36 CFR 800.16(l) within the APE. Therefore, FEMA has determined a finding of **No Historic Properties Affected** for this Undertaking and is submitting this Undertaking to you for your review and comment. FEMA requests your comments within 15 days.

We look forward to your concurrence with this determination. Should you have any questions or need additional information regarding this Undertaking, please contact me at (504) 247-7771 or jerame.cramer@fema.dhs.gov, or Annette Carroll, Historic Preservation Specialist at (504) 265-1900 or annette.carroll@fema.dhs.gov, or Richard Williamson, Archaeologist at (504) 908-5372 or richard.williamson@fema.dhs.gov.

Sincerely,

JERAME J CRAMER

Digitally signed by JERAME J CRAMER
Date: 2018.02.21 13:45:27 -06'00'

Jeramé J. Cramer
Environmental Liaison Officer
FEMA-DR-1603-LA, FEMA-DR-1607-LA

CC: File
Enclosures

No known historic properties will be affected by this undertaking. Therefore, our office has no objection to the implementation of this project. This effect determination could change should new information come to our attention.

Kristin P. Sanders
Deputy State Historic Preservation Officer

Date 03/07/2018

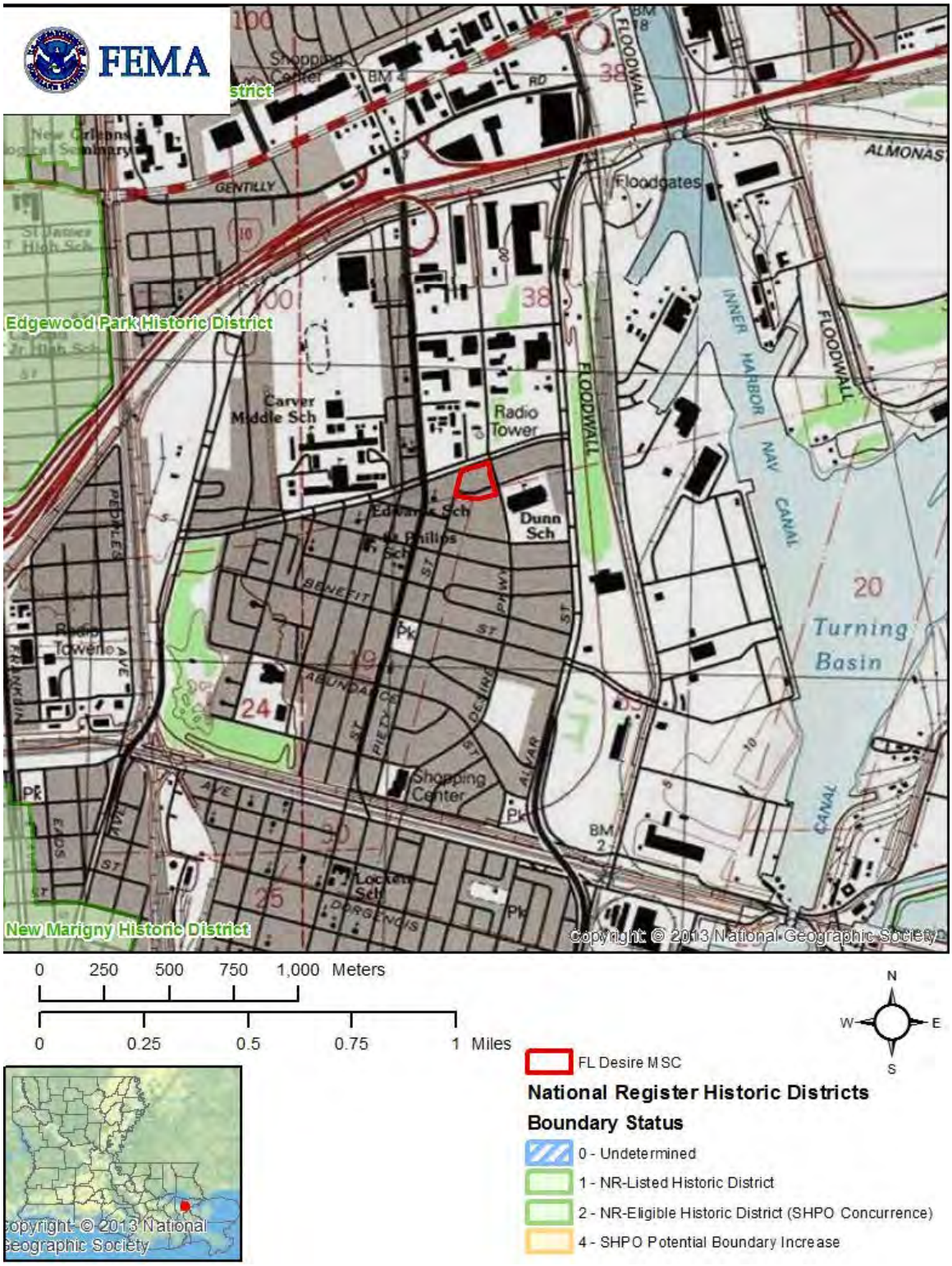


Figure 1. A portion of the Spanish Fort and New Orleans East 7.5' USGS topographic map showing the location of the Desire Florida Community Center Undertaking with near-by Historic Districts.

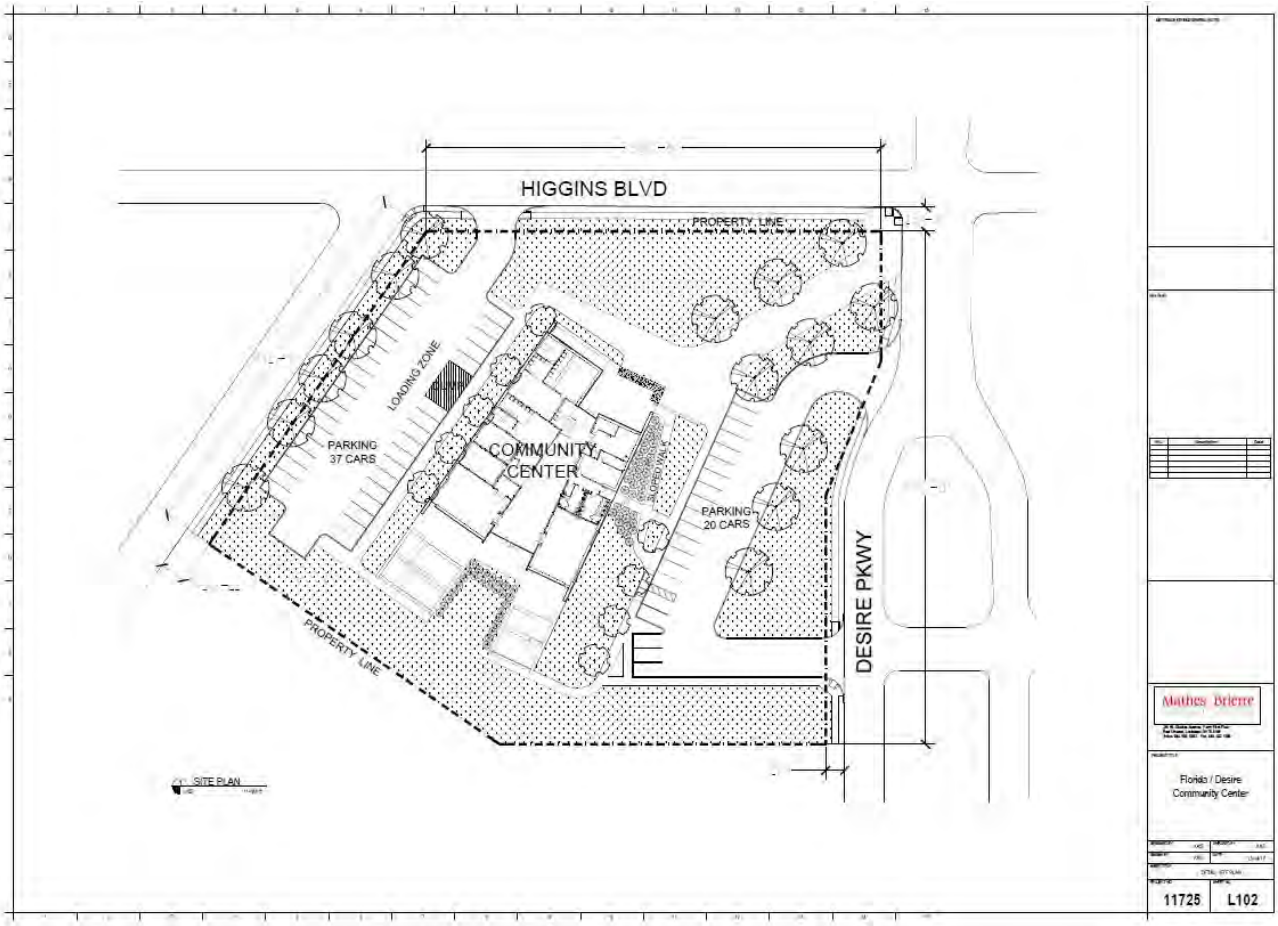


Figure 2. Plan of project area.

Figure 3. Aerial photograph showing the location of the Archaeological and Standing Structures APE (in red).

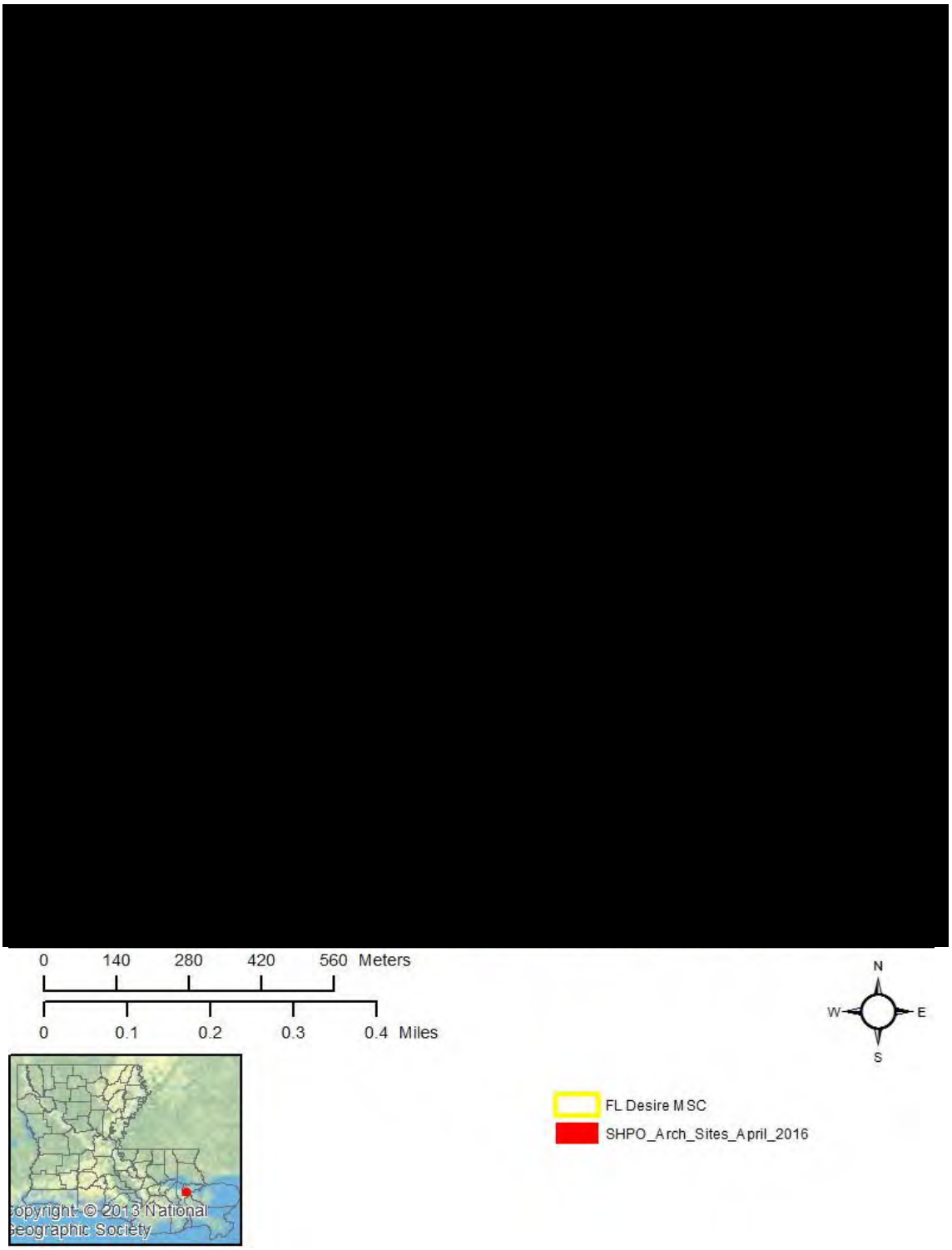


Figure 4. Identified archaeological sites within ½ mile of Archaeological APE. Data provided by Louisiana Division of Archaeology.

CONFIDENTIAL DO NOT DISCLOSE. This consultation letter was prepared by the Environmental and Historic Preservation section of the Federal Emergency Management Agency or their contractor. This map is protected from public disclosure in accordance with Section 304 of the National Historic Preservation Act, 16 U.S.C. 470, and 36 CFR 800.11 (c).

Appendix E

Public Notice and Draft FONSI

PUBLIC NOTICE
FEMA NOTICE OF AVAILABILITY
DRAFT ENVIRONMENTAL ASSESSMENT
DRAFT FINDING OF NO SIGNIFICANT IMPACT
CONSTRUCTION OF A NEW DESIRE FLORIDA MULTI-SERVICE CENTER,
ORLEANS PARISH, LOUISIANA

Interested parties are hereby notified that the Federal Emergency Management Agency (FEMA) has prepared a Draft Environmental Assessment (DEA) and a draft Finding of No Significant Impact (FONSI) in compliance with the National Environmental Policy Act (NEPA). The purpose of the DEA is to assess the effects on the human and natural environment of the City of New Orleans' (CNO) proposed relocation and construction of a new Desire Florida Multi-Service Center, the proposed action for which FEMA is considering providing funding assistance.

Hurricane Katrina's high winds, heavy rains, and flooding caused considerable damage in the Desire neighborhood of New Orleans. The original Multi-Service Center facility, demolished in 2010, was located at the northeast corner of the intersection of Louisa Street and Florida Avenue, north of the railroad tracks. In accordance with 44 C.F.R. § 206.203(d)(1), the CNO has requested an Improved Project, which would allow funds to restore the pre-disaster function of the damaged community service facility at the newly proposed location. As such, the CNO proposes to relocate and construct a new Desire Florida Multi-Service Center. The new facility would be an approximate 10,000 square foot (sf) multi-service center and would restore the community services capacity in the Desire neighborhood. The new facility would be located on an undeveloped lot owned by the Housing Authority of New Orleans (HANO) which CNO plans to lease the lot prior to construction. The proposed project is located on the southwest corner of the Higgins Boulevard and Desire Parkway intersection in New Orleans, Louisiana 70126. The coordinates of the proposed lot are:

Northwest Corner	Latitude: 29.994273 N	Longitude: -90.033362 W
Northeast Corner	Latitude: 29.994619 N	Longitude: -90.032273 W
Southeast Corner	Latitude: 29.993714 N	Longitude: -90.032092 W
Southwest Corner	Latitude: 29.993632 N	Longitude: -90.033521 W

The purpose of the DEA is to analyze the potential environmental impacts associated with the preferred action and two (2) alternatives. The DEA evaluates a No Action Alternative; the Preferred Action Alternative, which is to construct the Desire Florida Multi-Service Center on the lot bordered by Higgins Boulevard and Desire Parkway, and an Alternative Action, which is to construct the new facility at the Pre-Hurricane Katrina location of the Desire facility at Louisa Street and Florida Avenue.

The draft FONSI is FEMA's finding that the preferred action would not have a significant effect on the human and natural environment.

The draft EA and draft FONSI are available for review at the following locations: New Orleans Public Library - Main Branch, 219 Loyola Avenue, New Orleans, Louisiana, 70112; and the Norman Mayer Public Library, 3001 Gentilly Blvd, New Orleans, Louisiana 70122. Hours of operation are 10:00 a.m. to 8:00 p.m. on Mondays - Thursdays; 10:00 a.m. to 5:00 p.m. on Fridays and Saturdays; and 1:00 p.m. to 5:00 p.m. on Sundays. The documents also can be downloaded from FEMA's website at http://www.fema.gov/media-library/search. A public notice for the project will be published for three (3) days - Wednesday, May 9, 2018, Friday; May 11, 2018; and Sunday, May 13, 2018 in the *Times-Picayune*, the journal of record for Orleans Parish; and in The Advocate-New Orleans Edition for three (3) days - Monday, May 7, 2018 through Wednesday, May 9, 2018. In addition, there will be a thirty (30) day comment period, beginning on Monday, May 7, 2018, concluding on Wednesday, June 6, 2018 at 4 p.m. Written comments may be mailed to: DEPARTMENT OF HOMELAND SECURITY-FEMA EHP-DESIRE FLORIDA MULTI SERVICE CENTER, 1500 MAIN STREET, BATON ROUGE, LOUISIANA 70802. Comments also may be e-mailed to fema-noma@fema.dhs.gov or faxed to (225) 346-5848. Verbal comments will be accepted or recorded at (225) 267-2962. If no substantive comments are received, the draft EA and associated FONSI will become final.

U.S. Department of Homeland Security
Federal Emergency Management Agency, Region VI
Louisiana Recovery Office
1500 Main Street
Baton Rouge, Louisiana 70802

FINDING OF NO SIGNIFICANT IMPACT
CONSTRUCTION OF A NEW FLORIDA DESIRE MULTI-SERVICE CENTER IMPROVED PROJECT, ORLEANS PARISH, LOUISIANA
FEMA-1603-DR-LA

BACKGROUND

Hurricane Katrina made landfall on 29 August 2005, near the town of Buras, Louisiana, with sustained winds of more than 125 miles per hour. The accompanying storm surge damaged levees and entered the city of New Orleans from various coastal waterways, resulting in flooding throughout much of the city. The storm's high winds, heavy rains, and flooding caused considerable damage throughout New Orleans, Louisiana.

The Applicant has requested, via the State of Louisiana Governor's Office of Homeland Security and Emergency Preparedness (LA GOHSEP), that the Federal Emergency Management Agency (FEMA) provide disaster assistance through federal grant funds pursuant to the Robert T. Stafford Disaster Relief and Emergency Assistance Act (Stafford Act), PL 93-288, as amended. Section 406 of the Stafford Act authorizes FEMA's Public Assistance Program to fund projects to repair, restore, and replace facilities damaged as a result of the declared event. In accordance with 44 C.F.R. § 206.203(d)(1), the City of New Orleans (CNO) has requested an Improved Project, which will allow funds to restore the pre-disaster function of a damaged facility. The CNO proposes construct a new Desire Florida Multi-Purpose Center on an existing undeveloped lot which is owned by the Housing Authority of New Orleans (HANO).

Pursuant to the Council on Environmental Quality's procedures for implementing the National Environmental Policy Act (NEPA) at 40 C.F.R. § 1506.3 and in accordance with 44 C.F.R. § 10, FEMA regulations to implement NEPA, an Environmental Assessment (EA) was prepared. The alternatives considered consist of: 1) the "No Action" alternative, 2) Construct a new Florida Desire Multi-Service Center at Higgins Boulevard (Preferred Alternative), 3) Construct the new facility at the Pre-Hurricane Katrina location of the Desire facility at Louisa Street and Florida Avenue.

FINDINGS

FEMA has evaluated the proposed project for significant adverse impacts to geology, soils, water resources (surface water, groundwater, and wetlands), floodplains, coastal resources, air quality, biological resources (vegetation, fish and wildlife, federally-listed threatened or endangered species and critical habitats), cultural resources, socioeconomics (including minority and low income populations), safety, noise, and hazardous materials. The results of these evaluations as well as consultations and input from other federal and state agencies are presented in the EA. During the construction period, short-term impacts to water quality, air quality, and noise are anticipated. All short-term impacts require conditions to minimize and mitigate impacts to the proposed project site and surrounding areas.

CONDITIONS

The following conditions must be met as part of the implementation of the project. Failure to comply with these conditions may jeopardize federal funds:

- The Sub-Recipient must follow all applicable local, state, and federal laws, regulations, and requirements and obtain and comply with all required permits and approvals prior to initiating work.
- If human bone or unmarked grave(s) are present within the project area, compliance with the Louisiana Unmarked Human Burial Sites Preservation Act (R.S. 8:671 et seq.) is required. The Sub-Recipient shall notify the law enforcement agency of the jurisdiction where the remains are located within twenty-four hours of the discovery. The Sub-Recipient shall also notify FEMA and the Louisiana Division of Archaeology at 225-342-8170 within seventy-two hours of the discovery.
- If during the course of work, archaeological artifacts (prehistoric or historic) are discovered, the Sub-Recipient shall stop work in the vicinity of the discovery and take all reasonable measures to avoid or minimize harm to the finds. The Sub-Recipient shall inform their Public Assistance (PA) contacts at FEMA, who will in turn contact FEMA Historic Preservation (HP) staff. The Sub-Recipient will not proceed with work until FEMA HP completes consultation with the SHPO, and others as appropriate.
- Project construction would involve the use of potentially hazardous materials (e.g., petroleum products, including but not limited to gasoline, diesel, brake and hydraulic fluid, cement, caustics, acids, solvents, paint, electronic components, pesticides, herbicides, fertilizers, and/or treated timber) and may result in the generation of small volumes of hazardous wastes. Appropriate measures to prevent, minimize, and control spills of hazardous materials must be taken and generated hazardous or non-hazardous wastes are required to be disposed in accordance with applicable federal, state, and local regulations.
- LDNR requires that a complete CUP Application package (Joint Application Form, location maps, project illustration plats with plan and cross section views, etc.) along with the appropriate application fee, be submitted to their office prior to construction. The Sub-Recipient is responsible for coordinating with and obtaining any required CUPs or other authorizations from the LDNR OCM's Permits and Mitigation Division prior to initiating work. The Sub-Recipient must comply with all conditions of the required permits. All documentation pertaining to these activities and Sub-Recipient compliance with any conditions should be forwarded to the state and FEMA for inclusion in the permanent project files.
- Permittee shall, prior to commencement of the herein permitted activities, contact Billy Wall (phone: 225-342-9423, email: billy.wall@la.gov) to determine if a construction permit will be required from the local levee district. This determination does not eliminate the need to obtain a permit from the United States Army, Corps of Engineers or any other Federal, state or local approval that may be required by law. The drawings submitted with your referenced application are attached hereto and made a part of the record. If you have any questions regarding this authorization, please contact our office (225) 342-7591 or (800) 267-4019.
- Sub-Recipient must comply with all local, state, and federal requirements related to sediment control, disposal of solid waste, control and containment of spills, and discharge of surface runoff and/or stormwater from the site.
- The EPA recommends the Sub-Recipient conduct work to determine the extent of wetlands on site. Such investigation should be completed in coordination with the New Orleans District Office of the U.S. Army Corps of Engineers. The EPA also recommends all potential impacts to wetlands and other waters of the United States be avoided and minimized to the maximum extent practicable. Compensatory mitigation will be required for impacts to jurisdictional wetlands, as authorized by a Clean Water Act Section 404 permit, to avoid a net loss of wetlands and wetland functions as a result of the proposed work.

- Care should be taken in equipment and materials storage and construction activities (including equipment and materials staging) to ensure that nearby wetlands are not adversely affected per the CWA and Executive Order 11990.
- If the project results in a discharge to waters of the State, an LPDES permit may be required in accordance with the Clean Water Act and the Louisiana Clean Water Code. If the project results in a discharge of wastewater to an existing wastewater treatment system, that wastewater treatment system may need to modify its LPDES permit before accepting the additional wastewater. In order to minimize indirect impacts (erosion, sedimentation, dust, and other construction-related disturbances) to nearby waters of the U.S. and surrounding drainage areas, the contractor must ensure compliance with all local, state, and federal requirements related to sediment control, disposal of solid waste, control and containment of spills, and discharge of surface runoff and stormwater from the site. All documentation pertaining to these activities and Sub-Recipient compliance with any conditions should be forwarded to LA GOHSEP and FEMA for inclusion in the permanent project files.
- Per 44 C.F.R. § 9.11(d)(6), no project should be built to a floodplain management standard that is less protective than what the community has adopted in local ordinances through their participation in the NFIP. Per 44 C.F.R. § 9.11(d)(9), for the replacement of building contents, materials, and equipment, where possible disaster-proofing of the building and/or elimination of such future losses should occur by relocation of those building contents, materials, and equipment outside or above the base floodplain. The Sub-Recipient is required to coordinate with the local floodplain administrator regarding floodplain permit(s) prior to the start of any activities. All coordination pertaining to these activities and Sub-Recipient compliance with any conditions must be documented and copies forwarded to the LA GOHSEP and FEMA for inclusion in the permanent project files.
- After construction of the proposed project and prior to FEMA project close-out, additional verification will be needed to ensure that proper coordination occurred regarding work within the floodplain. The following documentation will be required:
    - A copy of the Post-Construction Elevation Certificate signed/sealed by licensed surveyor, engineer, or architect *as well as* the local FP administrator; or
    - If the post-construction EC is not signed by the local Floodplain Administrator, then a Certificate of Occupancy signed by the LFA or a letter from the local Floodplain Administrator stating the structure was built in compliance with the local floodplain ordinance.
    - New construction or substantial improvements within special flood hazard areas be protected against flood damage, be anchored in accordance with the building code of the City of New Orleans to prevent flotation, collapse, or lateral movement of the structure, utilize construction materials and utility equipment that is resistant to flood damage, and utilize construction methods and practices to minimize flood damage.
- All activities involving the remediation of known hazardous substances present in on-site soils must be conducted in accordance with LDEQ requirements and as specified in the approved Corrective Action Plan. Activities involving the remediation of as yet undiscovered hazardous substances in on-site soil and groundwater must be conducted in accordance with relevant LDEQ requirements. Remediation activities for such undiscovered contaminants may not begin until LDEQ approval has been received by the Sub-Recipient.
- All waste is to be transported by an entity maintaining a current "waste hauler permit" specifically for the waste being transported, as required by LaDOTD and other regulations.
- Unusable equipment, debris, and material shall be disposed of in an approved manner and location. The Sub-Recipient shall handle, manage, and dispose of petroleum products, hazardous materials, and/or toxic waste in accordance with all local, state, and federal agency requirements. All coordination

pertaining to these activities should be documented and copies forwarded to the state and FEMA as part of the permanent project files.

- Contractor and/or Subcontractors must properly handle, package, transport and dispose of hazardous materials and/or waste in accordance with all local, state, and federal regulations, laws, and ordinances, including all OSHA worker exposure regulations covered within 29 C.F.R. § 1910 and 1926.
- Contractors are required to follow, at a minimum, these BMPs during site work:
    - implement erosion and sediment controls
    - stabilize soils
    - manage dewatering activities
    - implement pollution prevention measures
    - provide and maintain buffers around surface waters
    - prohibit certain discharges, such as motor fuel and concrete washout

CONCLUSION

The results of these evaluations, as well as consultations and input from other federal and state agencies, are presented in the EA. Based on the information analyzed, FEMA has determined that the implementation of the proposed action would not result in significant adverse impacts to the quality of the natural and human environment. In addition, the proposed project does not appear to have the potential for significant cumulative effects when combined with past, present, and reasonably foreseeable future actions. As a result of this FONSI, an Environmental Impact Statement will not be prepared (per 44 C.F.R. § 10.9) and the proposed project as described in the EA may proceed.

APPROVALS

_____

Tiffany Spann-Winfield, Date

Acting Environmental Liaison Officer

LRO-1603/1607-DR-LA

_____

Thomas M. (Mike) Womack, Date

Director of Louisiana Recovery Office

FEMA-1603/1607-DR-LA