

From: Pitts, Melanie
To: ["beth.dixon@la.gov"](mailto:beth.dixon@la.gov); ["Jamie.Phillippe"](mailto:Jamie.Phillippe); ["gutierrez.raul@epa.gov"](mailto:gutierrez.raul@epa.gov); ["cmichon@wlf.la.gov"](mailto:cmichon@wlf.la.gov); ["Amy.Trahan@fws.gov"](mailto:Amy.Trahan@fws.gov); ["Karl.morgan@la.gov"](mailto:Karl.morgan@la.gov)
Cc: Holmes.Leschina; ["Spann.Tiffany"](mailto:Spann.Tiffany); Mannie.Kevin
Subject: Consultation for the Alexander Milne Home For Women
Date: Wednesday, June 06, 2012 10:55:00
Attachments: [Scope of work.docx](#)
[A07-023-A1.1-SITE.pdf](#)
[A07-023-A1.2-SITE.pdf](#)
[Milne_Topo_Model_-_Survey.pdf](#)

of Homeland Security
Emergency Management Agency
1603/1607 LA
LA 70114

U.S. Department
Federal
FEMA-DR
1 Seine Ct
New Orleans,



June 6, 2012

MEMORANDUM TO: See Distribution

SUBJECT: Scoping Notification/Solicitation of Views

To Whom It May Concern:

The Department of Homeland Security's Federal Emergency Management Agency (FEMA) is mandated by the U.S. Congress to administer Federal disaster assistance pursuant to the Robert T. Stafford Disaster Relief and Emergency Assistance Act (Stafford Act), PL 93-288, as amended. The Stafford Act authorizes FEMA's Public Assistance Program to provide emergency temporary administrative, educational, medical, or other support facilities for areas impacted by disasters while repairs and reconstruction of storm damaged facilities are being undertaken.

The attached scope of work and drawings correspond to a proposed project for which FEMA funding has been requested.

On August 29, 2005 the intense tidal surge from Hurricane Katrina resulted in extensive damage to the Alexander Milne Home for Women. The applicant is proposing an improved project for Alexander Milne Home for Women. The applicant is proposing to relocate the facilities to Highway 21 in Waldheim, LA (30.54994, -90.018759).

To ensure compliance with the National Environmental Policy Act (NEPA), Executive

Orders (EOs), and other applicable Federal regulations, we will be preparing an Environmental Assessment (EA). To assist us in preparation of the EA, we request that your office review the attached documents for a determination as to the requirements of any formal consultations, regulatory permits, determinations, or authorizations.

Please respond within thirty (30) calendar days of the date of this scoping notification. If our office receives no comments at the close of this period, we will assume that your agency does not object to the project as proposed.

Comments may be faxed to (504) 762-2323 emailed to Melanie.pitts@fema.dhs.gov or mailed to the attention of Melanie Pitts, Environmental Department, at the address above.

For questions regarding this matter, please contact Melanie Pitts, Environmental Specialist at (504) 762-2912.

Tiffany Spann-Winnfield
Deputy Environmental Liaison Officer

Distribution: LDEQ, USEPA, USFWS, LDWF, LDNR

Melanie Pitts
FEMA- Environmental Specialist
Desk 504-762-2912
BB 504-427-8000
Fax 504-762-2323

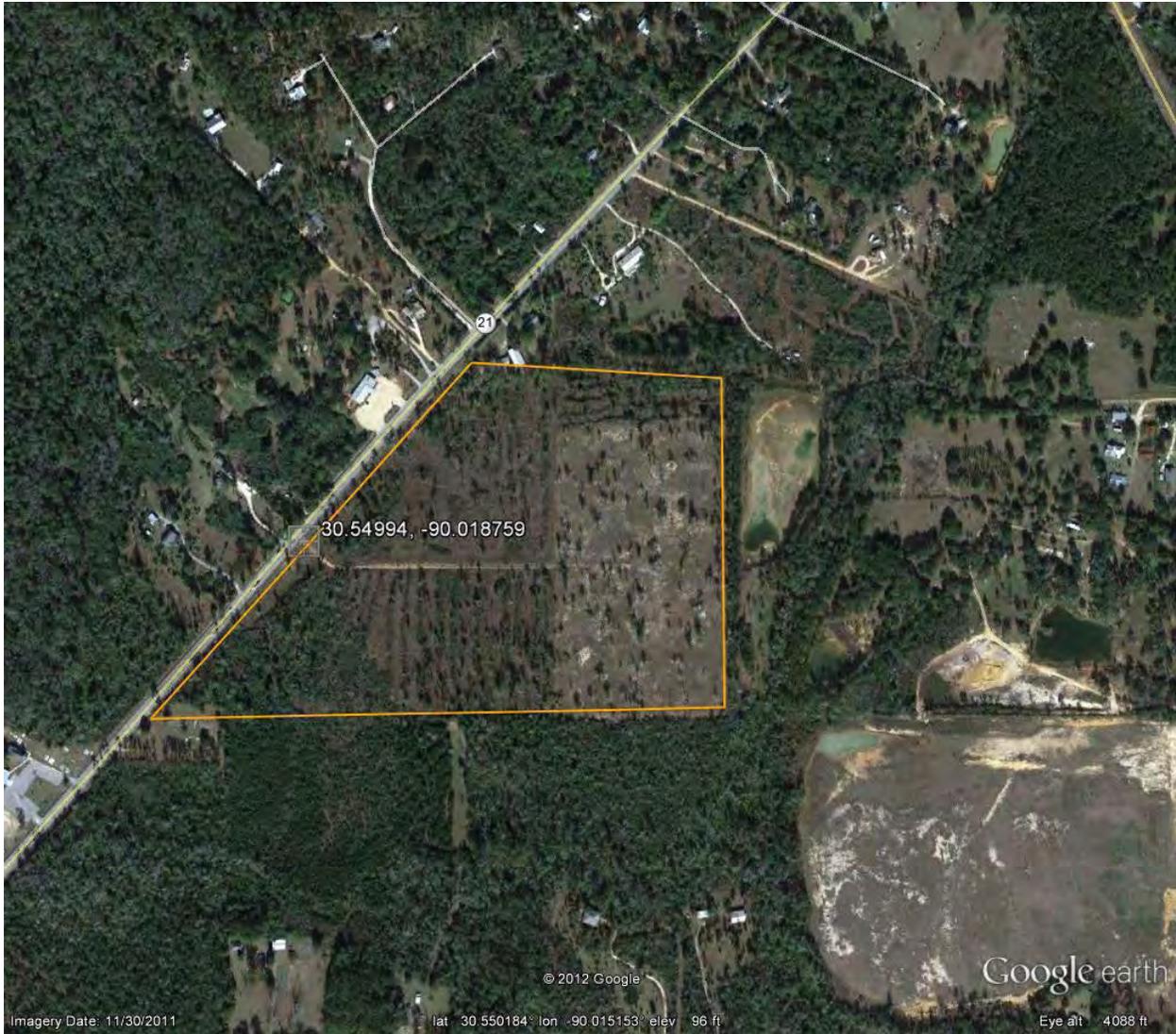
Scope of work:

Alexander Milne Home for Women (AMHW) is requesting a change in location project. Hurricane Katrina caused substantial damage to the applicant's original facility located at 1913 Gentilly Blvd, New Orleans, La. This facility was demolished and the property sold. Currently AMHW is operating out of temporary facilities in Mississippi. The applicant has purchased 50 undeveloped acres off of Highway 21 in Waldheim, LA (30.54994, -90.018759) where they are proposing to construct a new facility. Current conditions of the site include: a tract of approximately 29.298 acres of previously selectively cleared land with heavy mid-story growth; a tract of approximately 17.139 acres of previously selectively cleared land that has been maintained with a bushhog; and a tract of approximately 3.84 acres of previously selectively cleared land with heavy mid-story growth (site photos attached).

The facility will be designed to house 70 developmentally disadvantaged women. Current site plans (attached) include the construction of a water well, sewerage pump station, retention pond, driveways, parking, etc. Currently, the applicant proposes to develop the eastern most 17 acres and leave the western 29.3 acres undeveloped, with the exception of land needed to construct a driveway from highway 21 to the facilities to the rear of the property. The small 3.8 acre tract of land to the north of the developed area will also be left undeveloped.

Aerial Photographs





30.54994, -90.018759

© 2012 Google

Google earth

Imagery Date: 11/30/2011

lat 30.550184 lon -90.015153 elev 96 ft

Eye alt 4088 ft

Site Photos:



Site Conditions of the Tract of 3.7 Acres



Midstory Growth of the 3.7 Acre Tract



Site Conditions of the Tract of 29.298 Acres



Midstory Growth in the Tract of 29.298 Acres



Site Conditions of the Tract of 17 Acres to be Developed



Tract of 17 Acres

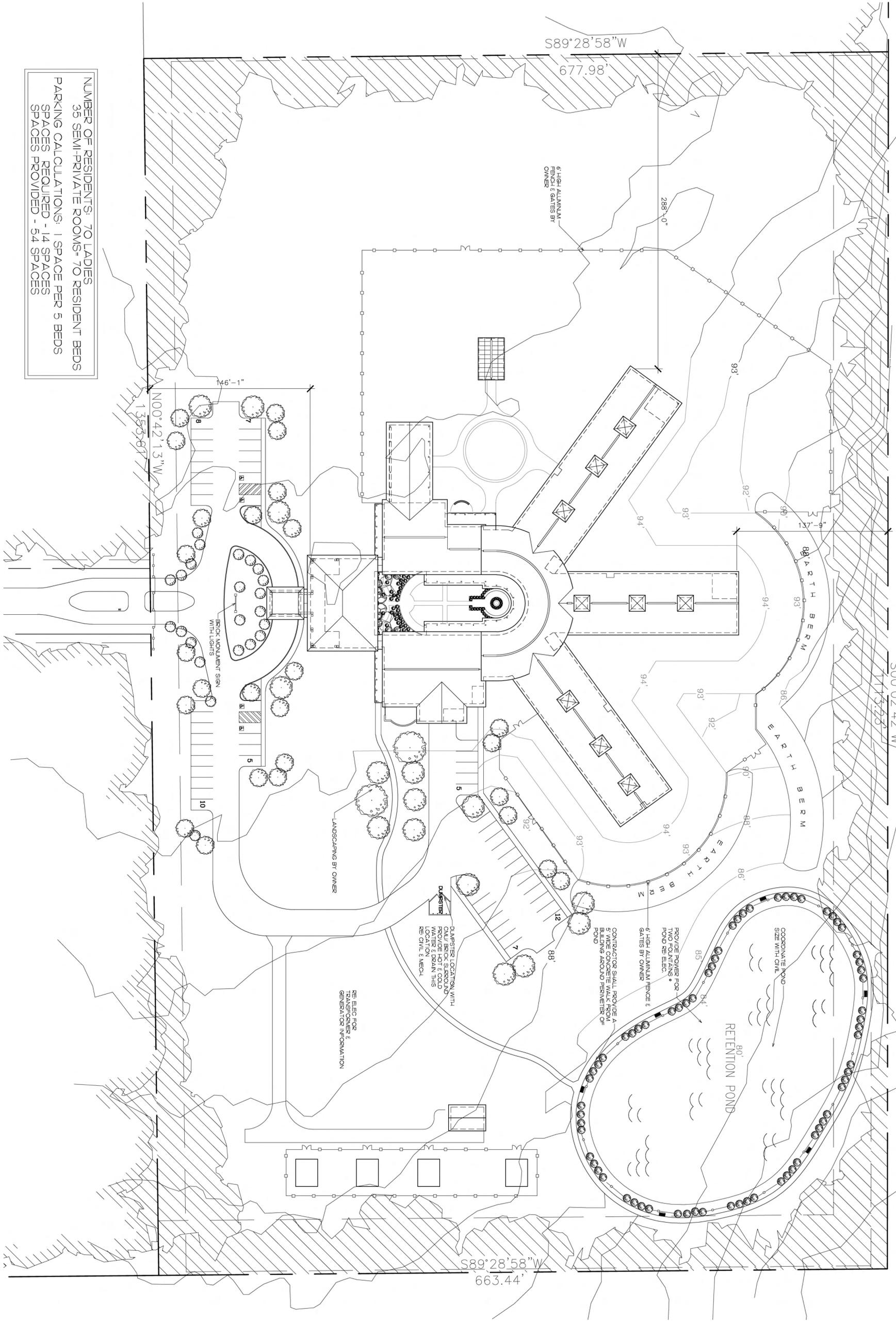


Seventeen (17) Acre tract of Land Area of Retention Pond

S00°02'42"W

S89°28'58"W
677.98'

S89°28'58"W
663.44'



NUMBER OF RESIDENTS: 70 LADIES
 35 SEMI-PRIVATE ROOMS- 70 RESIDENT BEDS
 PARKING CALCULATIONS: 1 SPACE PER 5 BEDS
 SPACES REQUIRED - 14 SPACES
 SPACES PROVIDED - 54 SPACES

Job No.	: A07-023
Date	: TBD
Drawn By	: CSALP
Checked By	: BEO
Sheet	

Sheet Title
 SITE PLAN

**ALEXANDER MILNE HOME FOR WOMEN
 PHASE II - 70 BED FACILITY**
 LA STATE HIGHWAY 21
 Waldheim, Louisiana

Seal

Revisions

1011 N. Gateway Blvd.
 Suite 95
 Mandeville, LA 70471
 T (983) 656-0683
 F (430) 440-7730

An Architectural Corporation
 5800 One Rexas Place
 Suite 603
 Baton Rouge, LA 70808
 T (225) 761-5191
 F (430) 440-7730

Survey of
TRACT 1 & TRACT 2 SITUATED IN SECTION 5, TOWNSHIP 6 SOUTH - RANGE 12 EAST ST. TAMMANY PARISH, LOUISIANA
FOR MILNE ASYLUM FOR DESTITUTE ORPHAN GIRLS



Ref: Survey by Kelly J. McHugh & Assoc., Inc.
 Dated: 8-3-04. From which servitudes and basis of bearing were taken.

Note: I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in a special flood hazard area, it is located in Flood Zone A.

FRM Panel# 225209 0150 C Rev. 10-17-1999

• DENOTES 1/2' ROD END UNLESS OTHERWISE NOTED

NOTE:
 P.O.B. IS DESCRIBED AS THE 1/4 SECTION CORNER OF SECTIONS 5 + 6 & WOOD POST FOUND WITH 1/2' ROD INSIDE

NOTE:
 APPROXIMATE LOCATION OF FEMA FLOOD ZONE TRANSITION LINE



Date: DECEMBER 8, 2008
 Survey No. 061322
 Project No. 8061217CR5
 Scale: 1"=300'
 Drawn By: BRC
 Revised:

From: Pitts, Melanie
To: ["Kevin.Stilley@la.usda.gov"](mailto:Kevin.Stilley@la.usda.gov)
Subject: Consultation for the Alexander Milne Home For Women
Date: Wednesday, June 06, 2012 13:26:00
Attachments: [A07-023-A1.1-SITE.pdf](#)
[A07-023-A1.2-SITE.pdf](#)
[Milne Topo Model - Survey.pdf](#)
[Scope of work.docx](#)
[NRCS AD1006.pdf](#)
Importance: High

of Homeland Security

U.S. Department

**Federal Emergency Management Agency
FEMA-DR 1603/1607 LA**

**1 Seine Ct
New Orleans,**

LA 70114



June 6, 2012

MEMORANDUM TO: See Distribution

SUBJECT: Scoping Notification/Solicitation of Views

To Whom It May Concern:

The Department of Homeland Security's Federal Emergency Management Agency (FEMA) is mandated by the U.S. Congress to administer Federal disaster assistance pursuant to the Robert T. Stafford Disaster Relief and Emergency Assistance Act (Stafford Act), PL 93-288, as amended. The Stafford Act authorizes FEMA's Public Assistance Program to provide emergency temporary administrative, educational, medical, or other support facilities for areas impacted by disasters while repairs and reconstruction of storm damaged facilities are being undertaken.

The attached scope of work and drawings correspond to a proposed project for which FEMA funding has been requested.

On August 29, 2005 the intense tidal surge from Hurricane Katrina resulted in extensive damage to the Alexander Milne Home for Women. The applicant is proposing an improved project for Alexander Milne Home for Women. The applicant is proposing to relocate the facilities to Highway 21 in Waldheim, LA (30.54994, -90.018759).

To ensure compliance with the National Environmental Policy Act (NEPA), Executive Orders (EOs), and other applicable Federal regulations, we will be preparing an Environmental Assessment (EA). To assist us in preparation of the EA, we request that your office review the attached documents for a determination as to the requirements of any formal consultations, regulatory permits, determinations, or authorizations.

Please respond within thirty (30) calendar days of the date of this scoping notification. If our office receives no comments at the close of this period, we will assume that your agency does not object to the project as proposed.

Comments may be faxed to (504) 762-2323 emailed to Melanie.pitts@fema.dhs.gov or mailed to the attention of Melanie Pitts, Environmental Department, at the address above.

For questions regarding this matter, please contact Melanie Pitts, Environmental Specialist at (504) 762-2912.

Tiffany Spann-Winnfield
Deputy Environmental Liaison Officer

Distribution: NRCS

Melanie Pitts
FEMA- Environmental Specialist
Desk 504-762-2912
BB 504-427-8000
Fax 504-762-2323

Melanie Pitts
FEMA- Environmental Specialist
Desk 504-762-2912
BB 504-427-8000
Fax 504-762-2323

FARMLAND CONVERSION IMPACT RATING

PART I (To be completed by Federal Agency)		Date Of Land Evaluation Request 6/6/12			
Name of Project Alexander Milne Home for Women		Federal Agency Involved FEMA			
Proposed Land Use Medical Residential District		County and State St. Tammany Louisiana			
PART II (To be completed by NRCS)		Date Request Received By NRCS		Person Completing Form:	
Does the site contain Prime, Unique, Statewide or Local Important Farmland? <i>(If no, the FPPA does not apply - do not complete additional parts of this form)</i>		YES <input type="checkbox"/>	NO <input type="checkbox"/>	Acres Irrigated	Average Farm Size
Major Crop(s)	Farmable Land In Govt. Jurisdiction Acres: %	Amount of Farmland As Defined in FPPA Acres: %			
Name of Land Evaluation System Used	Name of State or Local Site Assessment System	Date Land Evaluation Returned by NRCS			
PART III (To be completed by Federal Agency)		Alternative Site Rating			
		Site A	Site B	Site C	Site D
A. Total Acres To Be Converted Directly		19			
B. Total Acres To Be Converted Indirectly		50			
C. Total Acres In Site		50			
PART IV (To be completed by NRCS) Land Evaluation Information					
A. Total Acres Prime And Unique Farmland					
B. Total Acres Statewide Important or Local Important Farmland					
C. Percentage Of Farmland in County Or Local Govt. Unit To Be Converted					
D. Percentage Of Farmland in Govt. Jurisdiction With Same Or Higher Relative Value					
PART V (To be completed by NRCS) Land Evaluation Criterion Relative Value of Farmland To Be Converted (Scale of 0 to 100 Points)					
PART VI (To be completed by Federal Agency) Site Assessment Criteria <i>(Criteria are explained in 7 CFR 658.5 b. For Corridor project use form NRCS-CPA-106)</i>		Maximum Points	Site A	Site B	Site C
1. Area In Non-urban Use		(15)			
2. Perimeter In Non-urban Use		(10)			
3. Percent Of Site Being Farmed		(20)			
4. Protection Provided By State and Local Government		(20)			
5. Distance From Urban Built-up Area		(15)			
6. Distance To Urban Support Services		(15)			
7. Size Of Present Farm Unit Compared To Average		(10)			
8. Creation Of Non-farmable Farmland		(10)			
9. Availability Of Farm Support Services		(5)			
10. On-Farm Investments		(20)			
11. Effects Of Conversion On Farm Support Services		(10)			
12. Compatibility With Existing Agricultural Use		(10)			
TOTAL SITE ASSESSMENT POINTS		160	0	0	0
PART VII (To be completed by Federal Agency)					
Relative Value Of Farmland (From Part V)		100	0	0	0
Total Site Assessment (From Part VI above or local site assessment)		160	0	0	0
TOTAL POINTS (Total of above 2 lines)		260	0	0	0
Site Selected:	Date Of Selection	Was A Local Site Assessment Used? YES <input type="checkbox"/> NO <input type="checkbox"/>			
Reason For Selection:					
Name of Federal agency representative completing this form:					Date:

(See Instructions on reverse side)

STEPS IN THE PROCESSING THE FARMLAND AND CONVERSION IMPACT RATING FORM

- Step 1 - Federal agencies (or Federally funded projects) involved in proposed projects that may convert farmland, as defined in the Farmland Protection Policy Act (FPPA) to nonagricultural uses, will initially complete Parts I and III of the form. For Corridor type projects, the Federal agency shall use form NRCS-CPA-106 in place of form AD-1006. The Land Evaluation and Site Assessment (LESA) process may also be accessed by visiting the FPPA website, <http://fppa.nrcs.usda.gov/lesa/>.
- Step 2 - Originator (Federal Agency) will send one original copy of the form together with appropriate scaled maps indicating location(s) of project site(s), to the Natural Resources Conservation Service (NRCS) local Field Office or USDA Service Center and retain a copy for their files. (NRCS has offices in most counties in the U.S. The USDA Office Information Locator may be found at http://offices.usda.gov/scripts/ndISAPI.dll/oip_public/USA_map, or the offices can usually be found in the Phone Book under U.S. Government, Department of Agriculture. A list of field offices is available from the NRCS State Conservationist and State Office in each State.)
- Step 3 - NRCS will, within 10 working days after receipt of the completed form, make a determination as to whether the site(s) of the proposed project contains prime, unique, statewide or local important farmland. (When a site visit or land evaluation system design is needed, NRCS will respond within 30 working days.
- Step 4 - For sites where farmland covered by the FPPA will be converted by the proposed project, NRCS will complete Parts II, IV and V of the form.
- Step 5 - NRCS will return the original copy of the form to the Federal agency involved in the project, and retain a file copy for NRCS records.
- Step 6 - The Federal agency involved in the proposed project will complete Parts VI and VII of the form and return the form with the final selected site to the servicing NRCS office.
- Step 7 - The Federal agency providing financial or technical assistance to the proposed project will make a determination as to whether the proposed conversion is consistent with the FPPA.

INSTRUCTIONS FOR COMPLETING THE FARMLAND CONVERSION IMPACT RATING FORM

(For Federal Agency)

Part I: When completing the "County and State" questions, list all the local governments that are responsible for local land use controls where site(s) are to be evaluated.

Part III: When completing item B (Total Acres To Be Converted Indirectly), include the following:

1. Acres not being directly converted but that would no longer be capable of being farmed after the conversion, because the conversion would restrict access to them or other major change in the ability to use the land for agriculture.
2. Acres planned to receive services from an infrastructure project as indicated in the project justification (e.g. highways, utilities planned build out capacity) that will cause a direct conversion.

Part VI: Do not complete Part VI using the standard format if a State or Local site assessment is used. With local and NRCS assistance, use the local Land Evaluation and Site Assessment (LESA).

1. Assign the maximum points for each site assessment criterion as shown in § 658.5(b) of CFR. In cases of corridor-type project such as transportation, power line and flood control, criteria #5 and #6 will not apply and will, be weighted zero, however, criterion #8 will be weighed a maximum of 25 points and criterion #11 a maximum of 25 points.
2. Federal agencies may assign relative weights among the 12 site assessment criteria other than those shown on the FPPA rule after submitting individual agency FPPA policy for review and comment to NRCS. In all cases where other weights are assigned, relative adjustments must be made to maintain the maximum total points at 160. For project sites where the total points equal or exceed 160, consider alternative actions, as appropriate, that could reduce adverse impacts (e.g. Alternative Sites, Modifications or Mitigation).

Part VII: In computing the "Total Site Assessment Points" where a State or local site assessment is used and the total maximum number of points is other than 160, convert the site assessment points to a base of 160.

Example: if the Site Assessment maximum is 200 points, and the alternative Site "A" is rated 180 points:

$$\frac{\text{Total points assigned Site A}}{\text{Maximum points possible}} = \frac{180}{200} \times 160 = 144 \text{ points for Site A}$$

For assistance in completing this form or FPPA process, contact the local NRCS Field Office or USDA Service Center.

NRCS employees, consult the FPPA Manual and/or policy for additional instructions to complete the AD-1006 form.

From: Pitts, Melanie
To: ["kyle.b.gorden@usace.army.mil"](mailto:kyle.b.gorden@usace.army.mil); ["Raul Gutierrez"](#)
Cc: [Holmes, Leschina](#)
Subject: Solicitation of Views for Changes to the Alexander Milne Home for Women
Date: Friday, January 18, 2013 14:06:00
Attachments: [1-18-13 Scope of work.docx](#)
[New construction plans.pdf](#)

Department of Homeland Security
Emergency Management Agency
1603/1607 LA

LA 70114

U.S.
Federal
FEMA-DR
1 Seine Ct
New Orleans,



January 18, 2013

MEMORANDUM TO: USEPA and USACE

SUBJECT: Scoping Notification/Solicitation of Views for Changes to the Alexander Milne Home for Women

To Whom It May Concern:

The Department of Homeland Security's Federal Emergency Management Agency (FEMA) is mandated by the U.S. Congress to administer Federal disaster assistance pursuant to the Robert T. Stafford Disaster Relief and Emergency Assistance Act (Stafford Act), PL 93-288, as amended. The Stafford Act authorizes FEMA's Public Assistance Program to provide emergency temporary administrative, educational, medical, or other support facilities for areas impacted by disasters while repairs and reconstruction of storm damaged facilities are being undertaken.

The attached scope of work and drawings correspond to a proposed project for which FEMA funding has been requested.

On August 29, 2005 the intense tidal surge from Hurricane Katrina resulted in extensive damage to the Alexander Milne Home for Women. The applicant is proposing an improved project for Alexander Milne Home for Women. The applicant is proposing to relocate the facilities to Highway 21 in Waldheim, LA (30.54994, -90.018759).

To ensure compliance with the National Environmental Policy Act (NEPA), Executive Orders (EOs), and other applicable Federal regulations, we will be preparing an Environmental Assessment (EA). To assist us in preparation of the EA, we request that

your office review the attached documents for a determination as to the requirements of any formal consultations, regulatory permits, determinations, or authorizations.

Please respond within ten (10) calendar days of the date of this scoping notification. If our office receives no comments at the close of this period, we will assume that your agency does not object to the project as proposed.

Comments may be faxed to (504) 762-2323 emailed to Melanie.pitts@fema.dhs.gov.

For questions regarding this matter, please contact Melanie Pitts, Environmental Specialist at (504) 762-2912 or LeSchina Holmes at (504) 762-2603.

Tiffany Spann-Winnfield
Deputy Environmental Liaison Officer

Distribution: USEPA, USACE

MELANIE PITTS
ENVIRONMENTAL SPECIALIST
1603-DR-LA
DESK: (504) 762-2912
BB (504) 427-8000

Scope of work:

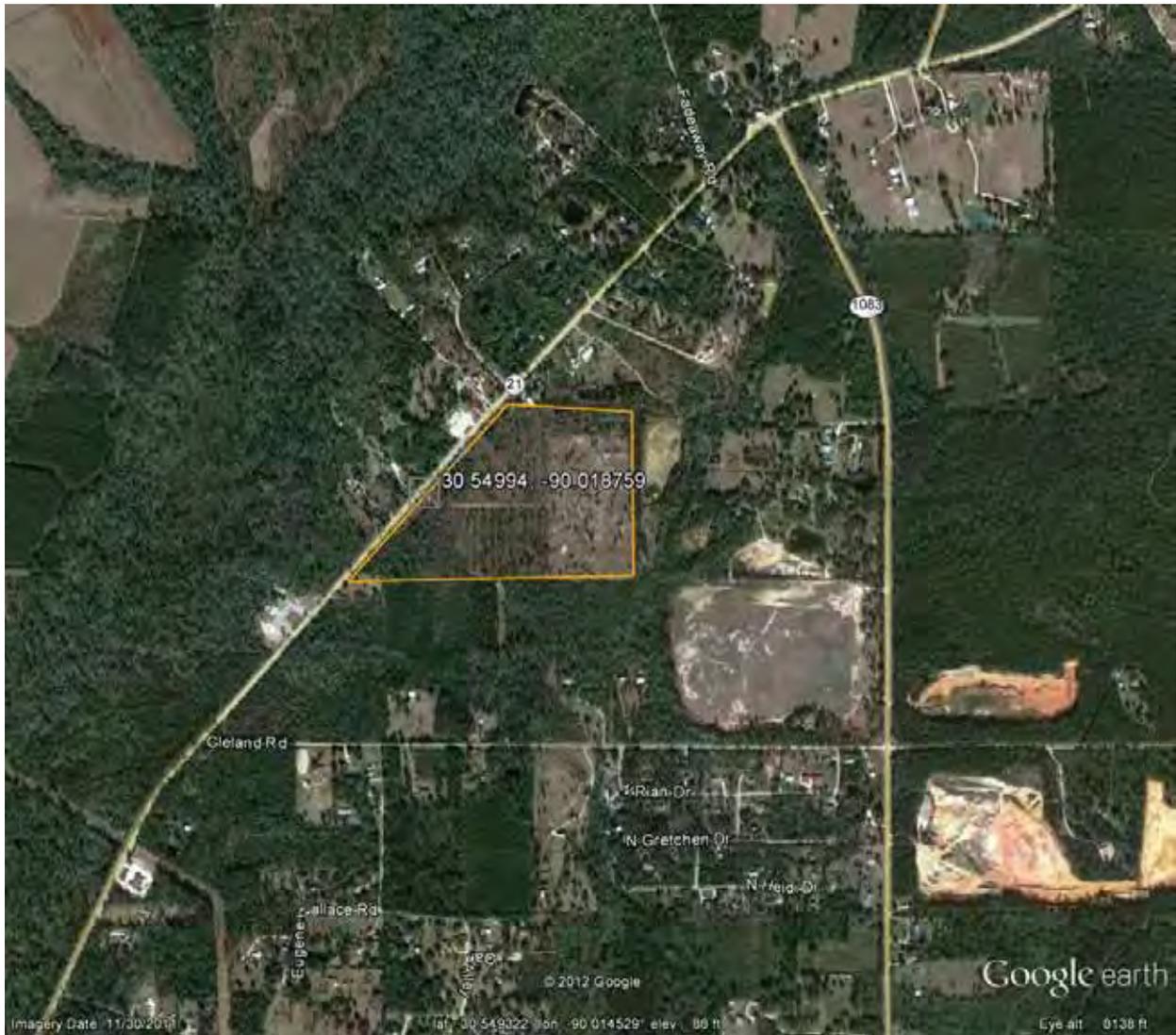
Alexander Milne Home for Women (AMHW) is requesting a change in location project. Hurricane Katrina caused substantial damage to the applicant's original facility located at 1913 Gentilly Blvd, New Orleans, La. This facility was demolished and the property sold. Currently AMHW is operating out of temporary facilities in Mississippi. The applicant has purchased 50 undeveloped acres off of Highway 21 in Waldheim, LA (30.54994, -90.018759) where they are proposing to construct a new facility. Current conditions of the site include: a tract of approximately 29.298 acres of previously selectively cleared land with heavy mid-story growth; a tract of approximately 17.139 acres of previously selectively cleared land that has been maintained with a bushhog; and a tract of approximately 3.84 acres of previously selectively cleared land with heavy mid-story growth (see photos below).

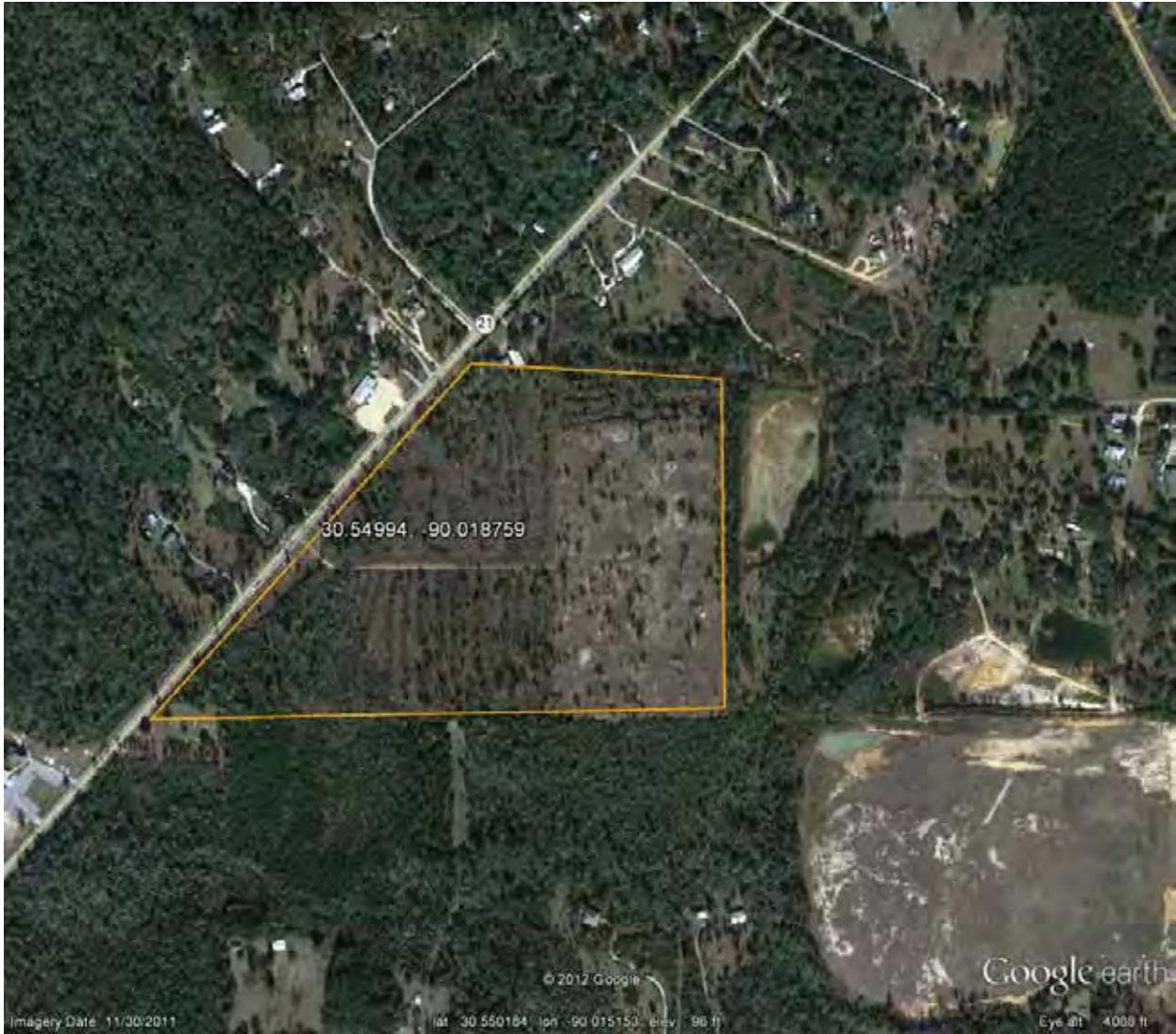
The facility will be designed to house 48 developmentally disadvantaged women. Current site plans (attached) include the construction of a water well, sewerage treatment station, retention pond, driveways, parking, etc. Currently, the applicant proposes to develop the eastern most 17 acres and leave the western 29.3 acres undeveloped, with the exception of land needed to construct a driveway from highway 21 to the facilities to the rear of the property. The small 3.8 acre tract of land to the north of the developed area will also be left undeveloped.

Changes to the previous version of this project include location of the road, layout of the buildings, and specifics on the discharge of the treated sewage and water well that will be constructed on the site. The proposed road is now being constructed north of the original location to avoid jurisdictional wetlands. The applicant proposes to dig water well to a depth of 500 feet from the surface of the ground to the back wash valve (see attached plans).

According to the applicant's proposed construction drawings, the sewer treatment plant would discharge 8,000 gallons of water per day to a proposed swale. According to the applicant the swale would drain the water to a small ditch currently located on the property line. This ditch crosses jurisdictional wetlands before draining into the roadside ditch located along Hwy 21 (see attached plans). The land consist of Savannah (Sa) fine sandy loam, 1 to 3 percent slopes, and is boarded by Myatt (My) fine sandy loam, frequently flooded.

Aerial Photographs





Site Photos:



Site Conditions of the Tract of 3.7 Acres



Midstory Growth of the 3.7 Acre Tract



Site Conditions of the Tract of 29.298 Acres



Midstory Growth in the Tract of 29.298 Acres



Site Conditions of the Tract of 17 Acres to be Developed



Tract of 17 Acres



Seventeen (17) Acre tract of Land Area of Retention Pond

Alexander Milne Home For Women

10000 & Alexander Drive, Waldheim, Louisiana



VOLUME 0 - SITE / CIVIL / LANDSCAPE

OCTOBER 24, 2012

LANDSCAPE ARCHITECT
Dufreche/Perkins & Associates, LLC

CIVIL ENGINEERS
Gulf Engineers & Consultants

KITCHEN DESIGN
Lafayette Restaurant Supply, Inc.

STRUCTURAL ENGINEERS
Morphy Makofsky, Inc.

MECHANICAL, ELECTRICAL & SPECIAL SYSTEMS, FIRE ENGINEERS
Moses Engineers

Alexander Milne Home for Women			
VOLUME INDEX			
VOLUME	DESCRIPTION	REVISION	DATE
0	SITE/CIVIL/LANDSCAPE		10/24/2012
1	ADMINISTRATOR BUILDING		10/24/2012
2	CLINIC BUILDING		10/24/2012
3	COMMUNITY CENTER		10/24/2012
4	MAINTENANCE BUILDING		10/24/2012
5.1	COTTAGE A1		10/24/2012
5.2	COTTAGE A2		10/24/2012
5.3	COTTAGE A3		10/24/2012
5.4	COTTAGE A4		10/24/2012
6.1	COTTAGE B1		10/24/2012
6.2	COTTAGE B2		10/24/2012
6.3	COTTAGE B3		10/24/2012
6.4	COTTAGE B4		10/24/2012
7.1	COTTAGE C1		10/24/2012
7.2	COTTAGE C2		10/24/2012
7.3	COTTAGE C3		10/24/2012
7.4	COTTAGE C4		10/24/2012

HIGHLIGHTED VOLUME DENOTES APPLICABLE VOLUME CONTAINED

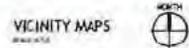
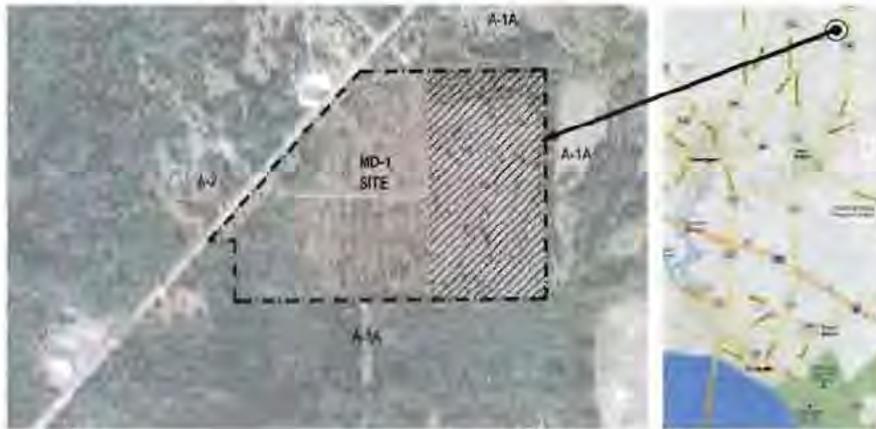
IMAGES ARE ARTISTS RENDERINGS ONLY AND ARE NOT TO BE USED FOR PRICING OR CONSTRUCTION.

ARCHITECTS:

B BROADMOOR
DESIGN GROUP

Dean M. Duplantier, Architect / A Professional Architectural Corporation
8 St. Ann Drive, Mandeville, LA 70471 / 985.612.1199
broadmooredesigngroup.com

T-100



ALEXANDER MILNE HOME FOR WOMEN

WALDHEIM, LOUISIANA 70415

GENERAL NOTES: THESE GENERAL NOTES ARE APPLICABLE TO ALL DRAWING SHEETS.

1. THE CONTRACTOR SHALL RESTORE THE SITE AND THROUGHTFULLY ACQUAINT HIMSELF WITH ALL ASPECTS OF THE CONSTRUCTION OUTLINED IN THIS DOCUMENT PRIOR TO STARTING CONSTRUCTION. ANY SHORTCOMINGS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT AND REMEDIATED.
2. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY ARRANGEMENTS REQUIRED TO INSURE THE HEALTH OF WORKERS AS WELL AS THE GENERAL PUBLIC.
3. THE CONTRACTOR SHALL PROVIDE ANY SITE EROSION CONTROL MEASURES NECESSARY FOR COMPLETION OF WORK.
4. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY ACCESSORIES AS REQUIRED BY RECEIVED MANUFACTURERS TO PROVIDE A COMPLETE PROOF CERTIFICATE BY THE MANUFACTURER, REFER TO SPECIFICATIONS.
5. PROVIDE LEVEL TRANSITION AT ALL DOORS FOR A MINIMUM OF 2" IN FRONT AND BACK OF DOORS AND SLOPE 1%.
6. ALL FLOOR PLAN DIMENSIONS ARE TO THE FACE OF WALLS UNLESS NOTED OTHERWISE, OR TO CENTER OF STOPS OR MASONRY.
7. THE GENERAL CONTRACTOR SHALL VERIFY ALL FIRST FIXTURES AND UTILITIES (ELECTRICAL) LOCATIONS PRIOR TO EXCAVATION WORK.
8. ALL DOOR AND CLOSET REVISIONS MUST BE LAYOUT IN SUCH A MANNER AS TO ALLOW 1/2" ON THE FULL SIDE OF THIS DOOR AND AS PER A.I.A.A. OR OTHERWISE, ANY DOOR REVISIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR DISCUSSION PRIOR TO LAYOUT AND CONSTRUCTION.
9. THE EXISTING SURVEY REPRESENTS GENERAL LOCATIONS OF IMPROVEMENTS. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL IMPROVEMENTS ON SITE PRIOR TO ALTERATION, ADDITION OR TEAR.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND ANY CHARGES FOR FEES TO EXISTING TREES AND UTILITIES.
11. THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE AROUND THE BUILDING AT ALL TIMES.
12. ALL REVISIONS TO THIS DRAWING SHALL BE THROUGH THE USE OF REVISION CIRCLES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL EXCESS MATERIAL PRIOR TO FINISHING.
13. EXCAVATION SHALL PREVENT EROSION OR STOCKPILES ETC.
14. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND REGULATIONS.
15. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE SPECIFIED AND SHALL COMPLY WITH THE STANDARDS OF UNDERWRITERS LABORATORY. IN EVERY CASE, SERS, SUCH AS LAMINATED, HAVE BEEN ESTABLISHED FOR THE PARTICULAR TYPE OF MATERIAL IN QUESTION PER SPECS.
16. ALL TESTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST STANDARDS OF THE FIELD. THE TESTS SHALL BE MADE IN THE PRESENCE OF THE OWNER OR HIS REPRESENTATIVE OR JCA.
17. ELECTRICAL WORK SHALL COMPLY WITH NFPA AND NATIONAL ELECTRICAL CODE AND BE PERFORMED BY A LICENSED ELECTRICIAN.
18. ALL HVAC SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NFPA.

Volume 0 - Alexander Milne Home for Women - Drawing

SITE & GENERAL DATA

SEQ.	SHEET	DESCRIPTION	REVISION	DATE
Site GENERAL				
1	T-100	COVER SHEET		10/24/2012
2	T-200	MAP, DRAWING INDEX, GENERAL CRITERIA		10/24/2012
CIVIL GENERAL				
1	1	OVERALL SURVEY		10/24/2012
2	2	ENTRANCE DRIVE SURVEY		10/24/2012
3	C-100	GENERAL NOTES		10/24/2012
4	C-300	SITE GEOMETRY - CIVIL - CONTROL PLAN		10/24/2012
5	C-310	SITE GEOMETRY - CIVIL - CONTROL PLAN		10/24/2012
6	C-320	SITE GEOMETRY - CIVIL - CONTROL PLAN		10/24/2012
7	C-400	CIVIL - GRADING PLAN		10/24/2012
8	C-410	PROFILES		10/24/2012
9	C-420	TRAFFIC PLAN		10/24/2012
10	C-500	CIVIL - PAVING & DRAINAGE PLAN		10/24/2012
11	C-610	TYPICAL SECTIONS - ROAD DETAILS		10/24/2012
12	C-620	POUD & FOUNTAIN DETAILS		10/24/2012
13	C-700	CIVIL - UTILITIES PLAN - WATER		10/24/2012
14	C-710	CIVIL - UTILITIES PLAN - GRAVITY SEWER		10/24/2012
15	C-720	WATER WELL DETAILS		10/24/2012
16	C-730	SEWER TREATMENT PLANT DETAILS		10/24/2012
17	C-740	FOUNDATION DETAILS		10/24/2012
18	C-750	SEWER LIFT STATION DETAILS - GRINDER PUMP		10/24/2012
19	C-760	SEWER LIFT STATION DETAILS		10/24/2012
20	C-770	WATER WELL DETAILS		10/24/2012
21	C-780	WATER TANK DETAILS		10/24/2012
22	C-800	PAVING DETAILS		10/24/2012
23	C-810	RETAINING WALL DETAILS		10/24/2012
24	C-900	SEWER DETAILS		10/24/2012
25	CW10	WATER DETAILS		10/24/2012
LANDSCAPE GENERAL				
1	L-100	BUFFER PLANTING / TURF PLAN		10/24/2012
2	L-210	LANDSCAPE PLAN (NE), PLANT LIST, & DETAILS		10/24/2012
3	L-230	LANDSCAPE PLAN (SE), PLANT KEY		10/24/2012
4	L-230	LANDSCAPE PLAN (NW), PLANT KEY		10/24/2012
5	L-240	LANDSCAPE PLAN (SW), PLANT KEY		10/24/2012
Site ARCHITECTURAL GENERAL				
1	AS-100	MASTER SITE PLAN		10/24/2012
2	AS-200	SITE PLAN ENLARGEMENTS		10/24/2012
3	AS-400	SITE DETAILS		10/24/2012
4	AS-500	MONUMENTAL SIGN DETAILS		10/24/2012
PLUMBING GENERAL				
1	F-100	SITE PLAN - PLUMBING		10/24/2012
ELECTRICAL GENERAL				
1	E-100	SITE PLAN - ELECTRICAL		10/24/2012
REFER TO OTHER VOLUMES FOR ADDITIONAL SITE PLANS				

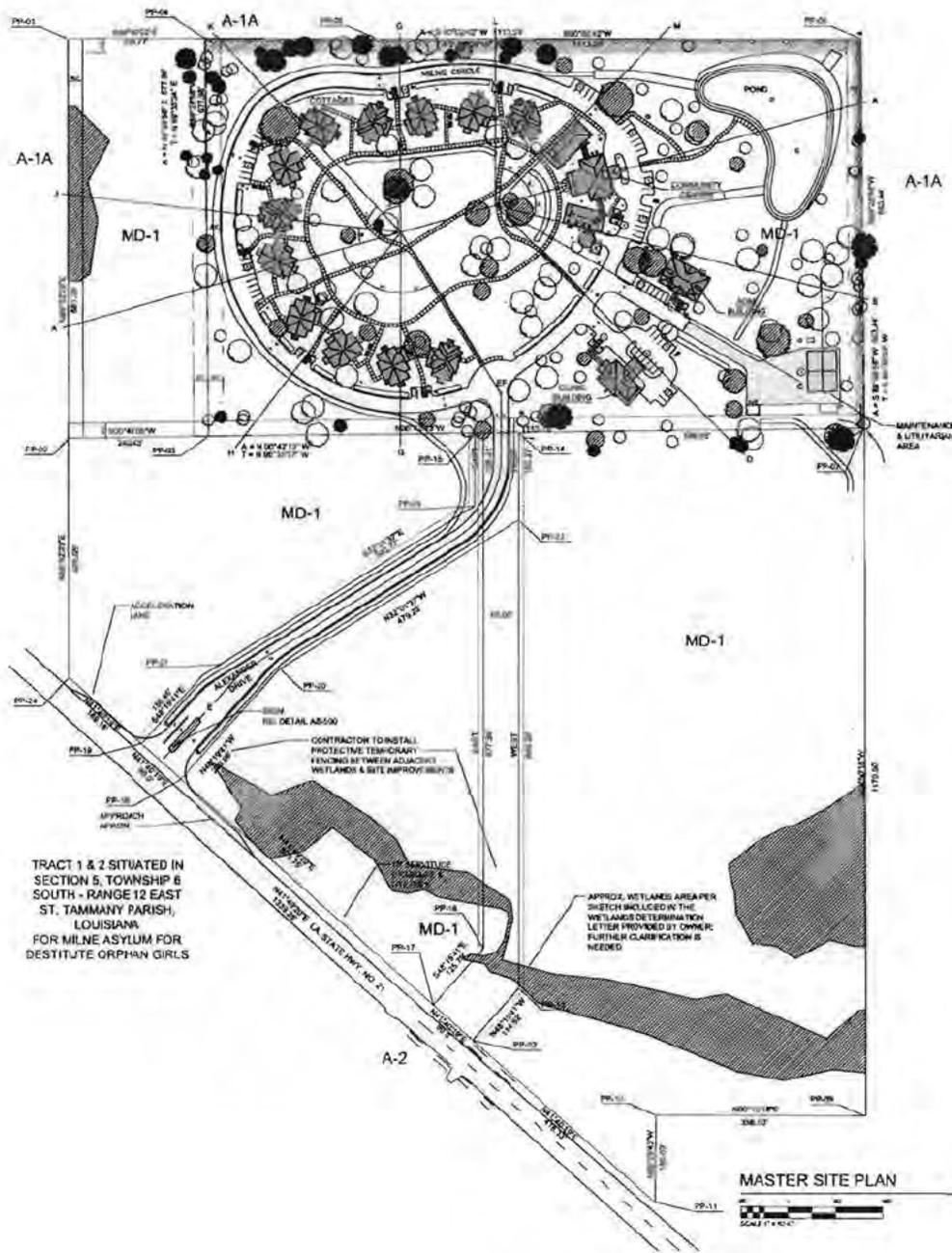
Alexander Milne Home For Women
 Louisiana Hwy 21, Waldheim, Louisiana

BROADMOOR DESIGN GROUP
 Dawn K. Duglantier, Architect, a Professional Architectural Corporation
 4501 Ann Drive, Metairie, LA 70001 | 504.885.1119
 broadmoordesigngroup.com


OCT 24, 2012
 PROJECT NO. 1128
 A11111

© 2011 B1
BROADMOOR DESIGN GROUP
 The information contained in this document is proprietary to Broadmoor Design Group. The document may not be disclosed, duplicated, or used for any purpose in whole or in part without the prior written consent of Broadmoor Design Group.

MAP, INDEX,
 GEN. CRITERIA
T-200



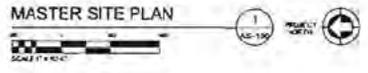
TRACT 1 & 2 SITUATED IN SECTION 5, TOWNSHIP 6 SOUTH - RANGE 12 EAST ST. TAMMANY PARISH, LOUISIANA FOR MILNE ASYLUM FOR DESTITUTE ORPHAN GIRLS

PARKING SPACES TABULATION	
ADMIN BUILDING	17,800 SF = 2,100 SP / 1,000 SF = 2 SPACES PROVIDED
CLINIC BUILDING	11,115 SF = 2,110 SF / 1,111 SF = 10 SPACES PROVIDED 1 DOCTOR + 1 SERVICE SPACE
COMM CENTER	242 EMPLOYEES = 4 EMPLOYEES = 1 SERVICE SPACE 114 OCCUPANTS = 1,822 SF / 16 SF = 127 OCCUPANTS = 48 SERVICE SPACES KITCHEN = 800 SF / 200 SF = 4 SERVICE SPACES MEYERSON = 800 SF / 100 SF = 8 SERVICE SPACES TOTAL COMMON PARKING PROVIDED FOR NORTH PORTION WITH OTHER SITE PARKING AVAILABLE = 15 TOTAL SPACES = 30 = 32 SPACES PROVIDED
COURTNEY A, B & C GARAGES	31,800 = 314 SPACES = 13 SPACES PROVIDED 0 = 0 EMPLOYEES = 10 OCCUPANTS = 5 SPACES PROVIDED
TOTAL	TOTAL REQUIRED SPACES = 15 SPACES TOTAL PROVIDED SPACES = 32 SPACES
WASH BLDG	8 VAN SPACES WITHIN BARN PROVIDED EXTRA
LOADING DOCK	2 CITY STREET LOADING SPACES PROVIDED AT SERVICE YARD OF COMMUNITY CENTER
ADA PARKING	11 VAN ACCESSIBLE PARKING SPACES PROVIDED 4% OF TOTAL COMMON PARKING PROVIDED

PROPERTY GEOMETRY			
Point	Easting	Northing	Area
PP-01	1000000.00	1000000.00	1000000.00
PP-02	1000000.00	1000000.00	1000000.00
PP-03	1000000.00	1000000.00	1000000.00
PP-04	1000000.00	1000000.00	1000000.00
PP-05	1000000.00	1000000.00	1000000.00
PP-06	1000000.00	1000000.00	1000000.00
PP-07	1000000.00	1000000.00	1000000.00
PP-08	1000000.00	1000000.00	1000000.00
PP-09	1000000.00	1000000.00	1000000.00
PP-10	1000000.00	1000000.00	1000000.00
PP-11	1000000.00	1000000.00	1000000.00
PP-12	1000000.00	1000000.00	1000000.00
PP-13	1000000.00	1000000.00	1000000.00
PP-14	1000000.00	1000000.00	1000000.00
PP-15	1000000.00	1000000.00	1000000.00
PP-16	1000000.00	1000000.00	1000000.00
PP-17	1000000.00	1000000.00	1000000.00
PP-18	1000000.00	1000000.00	1000000.00
PP-19	1000000.00	1000000.00	1000000.00
PP-20	1000000.00	1000000.00	1000000.00
PP-21	1000000.00	1000000.00	1000000.00
PP-22	1000000.00	1000000.00	1000000.00
PP-23	1000000.00	1000000.00	1000000.00
PP-24	1000000.00	1000000.00	1000000.00

REFER TO AS-200 FOR ACTUAL POINT LOCATIONS.

NOTES:
 1. REFER TO ADDITIONAL ENLARGED SITE PLANS FOR INDIVIDUAL BUILDINGS IN THEIR RESPECTIVE VOLUMES.
 2. COORDINATE LOCATIONS OF INDIVIDUAL BUILDINGS & OTHER SITE IMPROVEMENTS CAN BE FOUND ON INDIVIDUAL SITE PLANS ALSO LOCATED IN EACH APPLICABLE VOLUME.



Alexander Milne
Home For Women
Louisiana Hwy 21, Waltham, Louisiana

BROADMOOR DESIGN GROUP

OCT 24, 2012
PROJECT NO. 1128

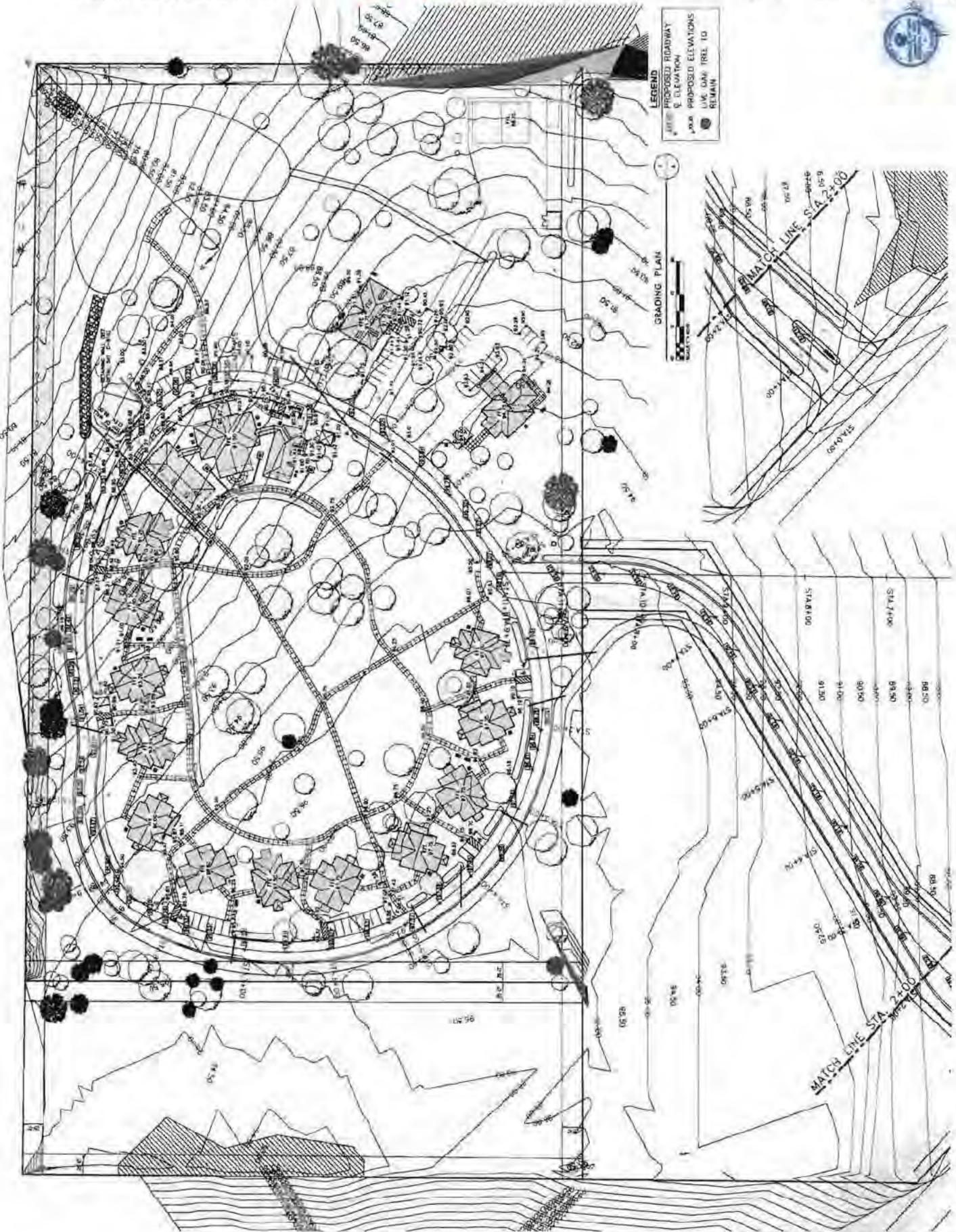
© 2012 BDC
 BROADMOOR DESIGN GROUP
 This document is prepared in accordance with the requirements of the Louisiana Professional Architect Act. The document may not be distributed, reproduced, or used for any purpose other than that specifically stated on the drawing without the prior written consent of Broadmoor Design Group.

MASTER SITE PLAN
AS-100



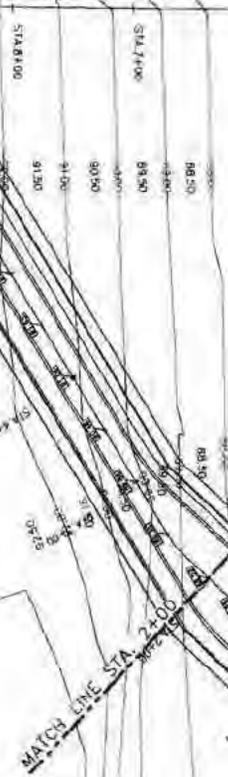
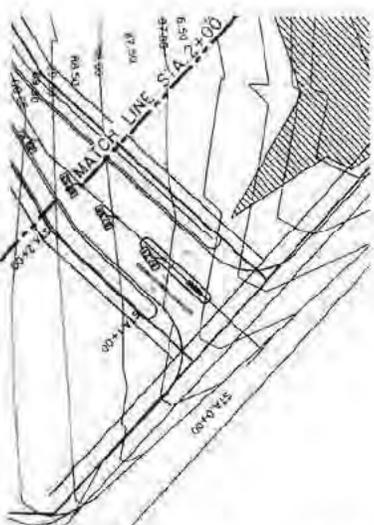
OCT 24, 2012
PROJECT NO. 11111111

GRADING
PLAN
C-400



LEGEND
 - - - - - PROPOSED ROADWAY
 - - - - - & ELEVATION
 - - - - - PROPOSED ELEVATIONS
 ● LIVE OAK TREE TO REMAIN
 ■ LIVE OAK TREE TO REMAIN

GRADING PLAN



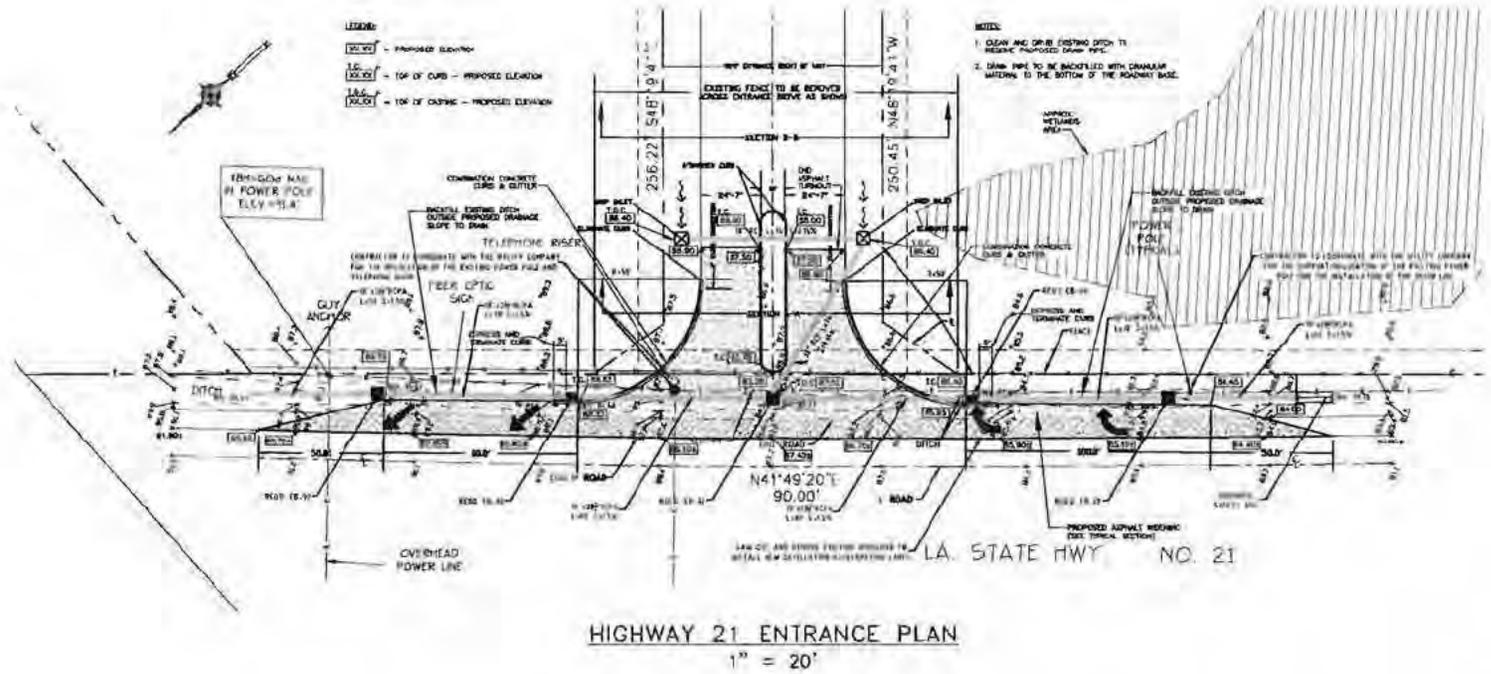


OCT 24, 2012
PROJECT NO.
57154

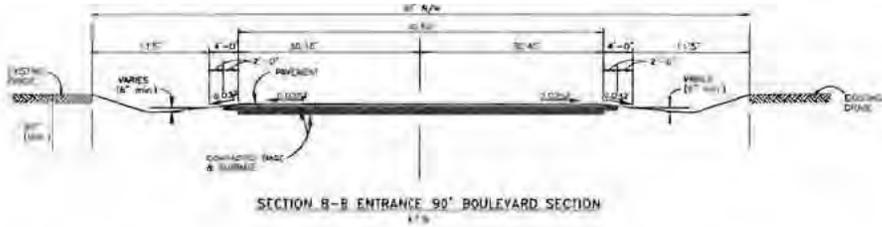
LA Home Call
1-800-875-5880



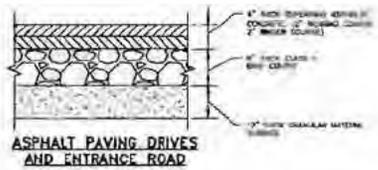
TRAFFIC PLAN
C-420



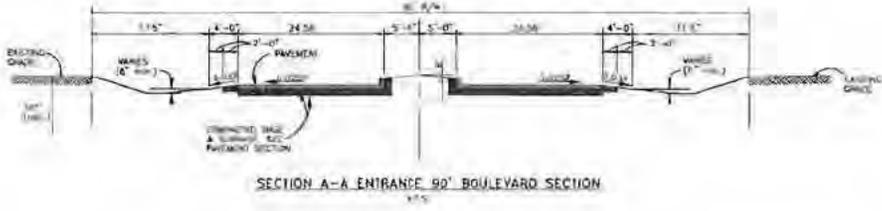
HIGHWAY 21 ENTRANCE PLAN
1" = 20'



SECTION B-B ENTRANCE 90' BOULEVARD SECTION
1" = 5'

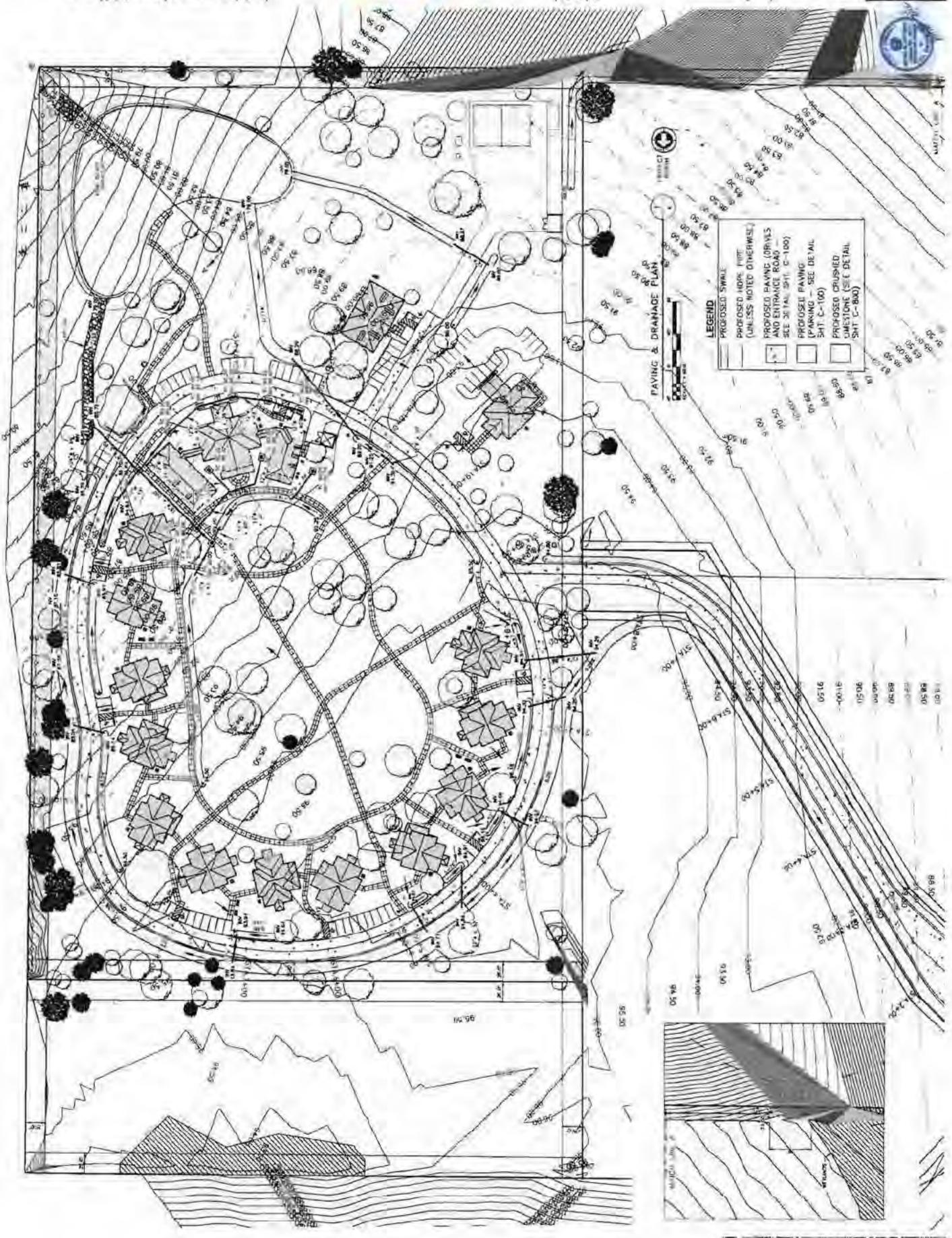


ASPHALT PAVING DRIVES AND ENTRANCE ROAD



SECTION A-A ENTRANCE 90' BOULEVARD SECTION
1" = 5'

© 2012 Alexander Milne Home For Women. All rights reserved.

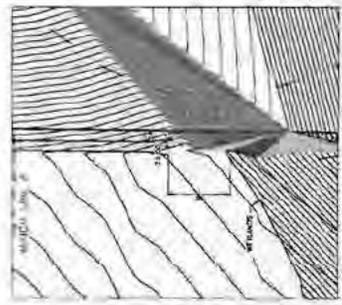
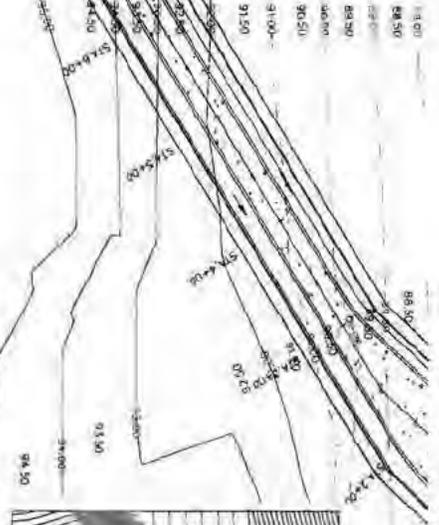


LEGEND

- PROPOSED SWALL
- PROPOSED HOPE FIVE (UNLESS NOTED OTHERWISE)
- PROPOSED BLANK DRIVE AND ENTRANCE ROAD (SEE DETAIL SHIT C-100)
- PROPOSED PAVING (PARKING - SEE DETAIL SHIT C-100)
- PROPOSED CRUSHED DIMESTONE (SEE DETAIL SHIT C-800)



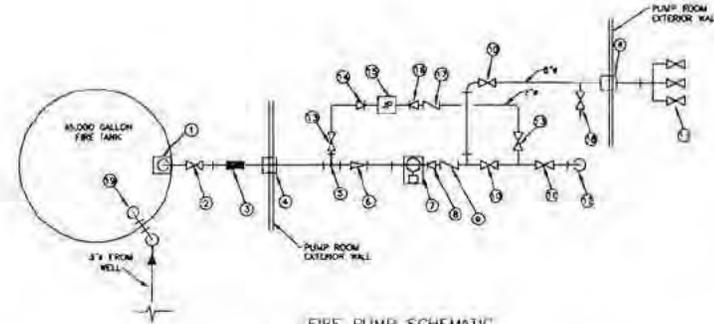
PAVING & DRAINAGE PLAN





OCT 24, 2012
PROJECT NO.
REV.

W/S UTILITY
PLAN
C-720



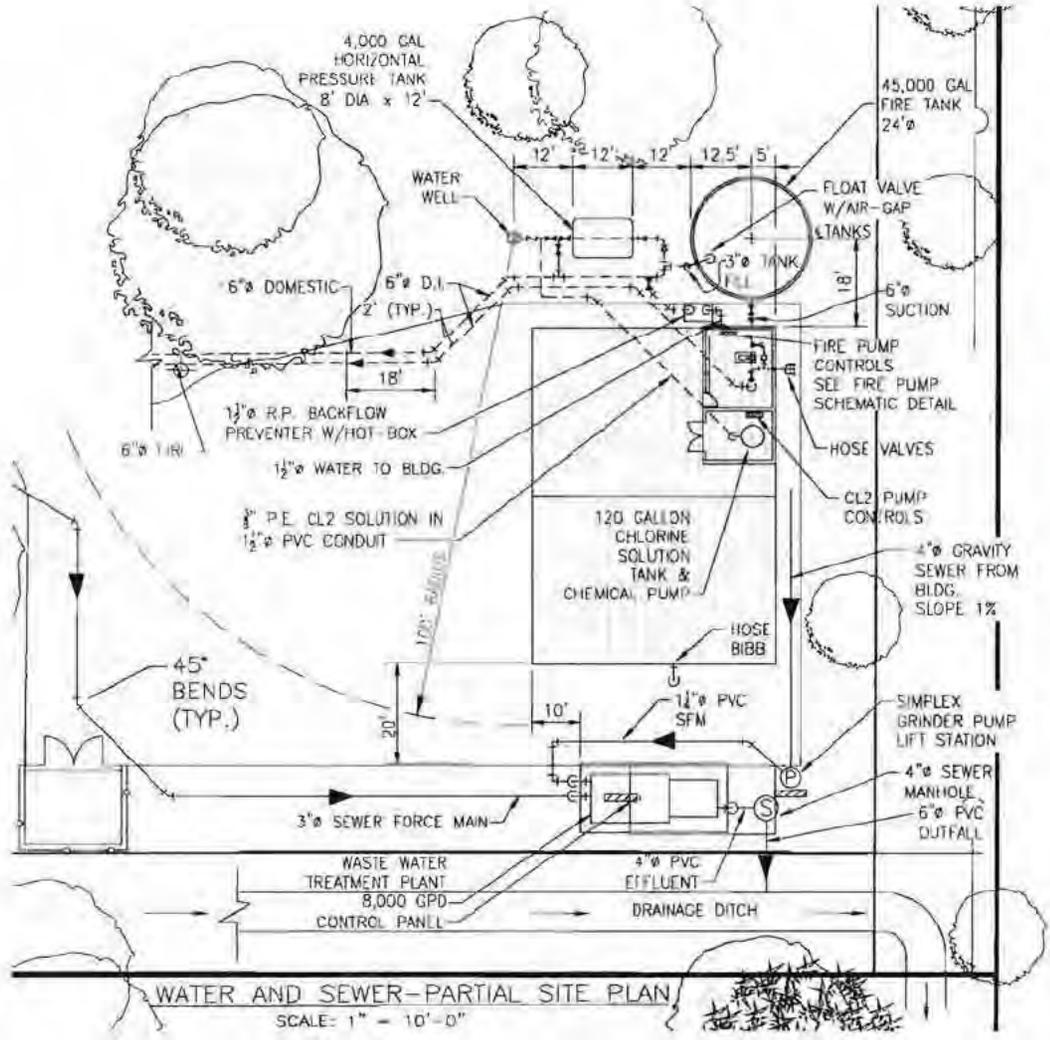
FIRE PUMP SCHEMATIC
N.I.S.

LEGEND:

- ⊥ TEE
- ◁ REDUCER (EQC)
- ▷ INCREASER
- ⋈ GATE VALVE
- Z CHECK VALVE
- DRESSER COUPLING
- ⊥ 90° BEND DOWN
- ⋈ HOSE HEADER WITH HOSE VALVES

NOTES:

- | NOTES: | LENGTH: |
|---|---------|
| ① LONG RAD. ELBOW WITH VORTIC PLATE | 12" |
| ② 8" GATE VALVE (D.S. & V.) | 12" |
| ③ DRESSER COUPLING | 12" |
| ④ WALL SLEEVE | 12" |
| ⑤ 8" TEE | 16" |
| ⑥ 8"x5" ECCENTRIC REDUCER | 9" |
| ⑦ 5/4" ELECTRIC FIRE PUMP (40 HORSE POWER) HORIZ. SPLIT CASE PUMP | 24" |
| ⑧ 4"x8" INCREASER | 9" |
| ⑨ 8" CHECK VALVE | 18" |
| ⑩ 8" GATE VALVE (D.S. & V.) OR INDICATING BUTTERFLY VALVE | 12" |
| ⑪ HOSE HEADER WITH (3) 2-1/2" HOSE VALVES | 12" |
| ⑫ 8" ELBOW (DOWN); FLOOR SLEEVE AND PIPE SUPPORT PLATE, NOT SHOWN | 8" |
| ⑬ 2" GATE VALVE (D.S. & V.) | 4" |
| ⑭ 2" x 1-1/2" ECC. REDUCER | 8" |
| ⑮ 1-1/2" Jockey Pump (2 HORSEPOWER) | 12" |
| ⑯ 2" x 1-1/2" INCREASER | 8" |
| ⑰ 2" CHECK VALVE | 10" |
| ⑱ DRAIN VALVE | |
| ⑳ 2" TANK FILL W/ AUTOMATIC FLOAT VALVE AND 8" (MIN.) AIR-DRP | |



WATER AND SEWER-PARTIAL SITE PLAN
SCALE: 1" = 10'-0"



