

Draft Environmental Assessment

Town of Gilbert Fire Station No. 10

Gilbert, Arizona

FEMA Grant No. EMW-2009-FC-02614

**Town of Gilbert Fire Department
Capital Improvements Plan Project No. MF022**

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FEMA

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LIST OF ACRONYMS

AAC	Arizona Administrative Code
ACHP	Advisory Council on Historic Preservation
AGFD	Arizona Game and Fish Department
AFG	Assistance to Firefighters Grant
APE	Area of Potential Effects
AZPDES	Arizona Pollutant Discharge Elimination System
BG	Block Group
BMPs	Best Management Practices
CFR	Code of Federal Regulations
CIP	Capital Improvements Plan
CO	carbon monoxide
CT	Census Tract
CWA	Clean Water Act
dB	decibel
dBA	A-weighted decibels
EA	Environmental Assessment
EO	Executive Order
EPA	U.S. Environmental Protection Agency
ESA	Phase I Environmental Site Assessment
FEMA	Federal Emergency Management Agency
GCR	General Conformity Rule
GFD	Gilbert Fire Department
HUD	U.S. Department of Housing and Urban Development
ISO	Insurance Services Office
L _{dn}	day-night average sound level
NAAQS	National Ambient Air Quality Standards
NEPA	National Environmental Policy Act
NFPA	National Fire Protection Association
NHPA	National Historic Preservation Act
NO ₂	nitrogen dioxide
NRCS	Natural Resources Conservation Service
NRHP	National Register of Historic Places
O ₃	ozone
PM _{2.5}	particulate matter less than 2.5 microns in diameter
PM ₁₀	particulate matter less than 10 microns in diameter
SHPO	State Historic Preservation Office
SIP	State Implementation Plan
SWPPP	Stormwater Pollution Prevention Plan
USACE	U.S. Army Corps of Engineers
USDA	U.S. Department of Agriculture
USFWS	U.S. Fish and Wildlife Service
Waters	Waters of the United States

1.0 INTRODUCTION

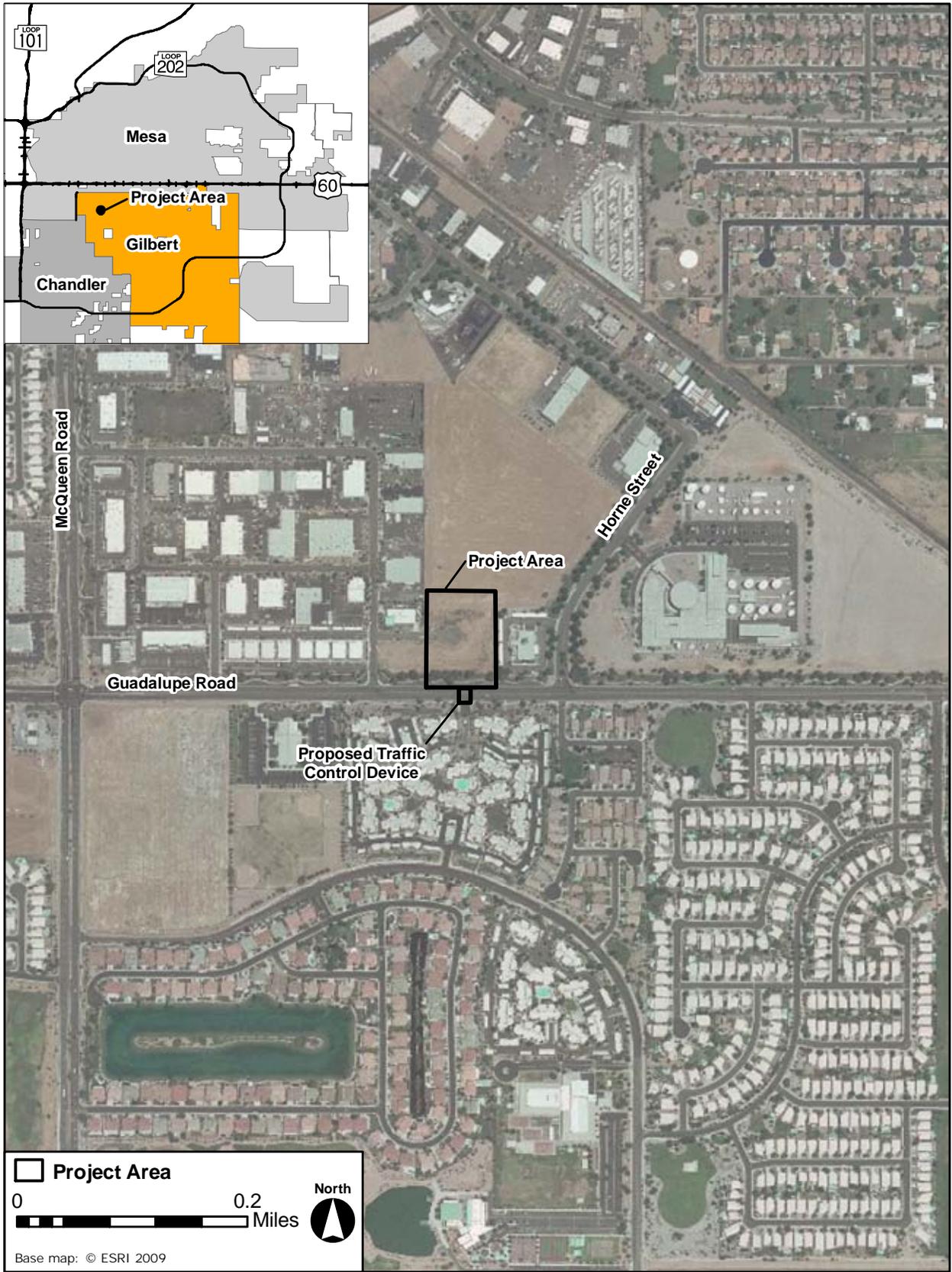
1.1 Project Authority

Assistance to Firefighters Grants (AFG) are administered by the U.S. Department of Homeland Security Federal Emergency Management Agency (FEMA) and provide financial assistance to fire departments to build new or modify existing fire stations to enhance their response capability and protect the community they serve from fire and fire-related hazards. The authority for AFG is derived from the American Recovery and Reinvestment Act of 2009 (Public Law 111-5). Congress appropriated a total of \$210 million for this Fiscal Year 2009 program. The primary goal of the program is to help fire departments meet their firefighting and emergency response needs and to support organizations lacking the tools and resources necessary to effectively protect the health and safety of the public and their emergency response personnel with respect to fire and all other hazards. The Town of Gilbert has been awarded FEMA Grant No. EMW-2009-FC-02614 for the construction of its proposed Fire Station No. 10 to meet service demand and to improve response times in the northwest portion of Gilbert, Arizona.

Prior to approving funds, FEMA is required to consider potential environmental impacts on the quality of the human environment that would result from Grantee proposals. This Draft Environmental Assessment (EA) has been prepared in accordance with the National Environmental Policy Act of 1969 (NEPA), the President's Council on Environmental Quality regulations to implement NEPA (40 Code of Federal Regulations [CFR] Parts 1500–1508), and FEMA regulations implementing NEPA (44 CFR Part 10). Based on the results of the environmental assessment process, FEMA will determine whether to prepare an Environmental Impact Statement or a Finding of No Significant Impact.

1.2 Project Location

Fire Station No. 10 would be located at 1280 W. Guadalupe Road, Gilbert, Arizona (Figure 1). The project area is approximately 3 acres in size on a previously developed site within an urbanized area. The fire station will consist of a one-story facility with a four-bay apparatus and will include parking areas, driveways, sidewalks, and a landscaped retention area. This project is located in Section 2, Township 1 South, Range 5 East on the Chandler, Arizona, U.S. Geological Survey 7.5-minute topographic series map.



W:110-311WEPA/EANo10/Fig1

Figure 1. Project area.

2.0 PURPOSE AND NEED

The purpose and need for the project is to address increasing population growth and associated demand for firefighting capabilities in the Town of Gilbert. The Town of Gilbert has experienced rapid growth in recent years and is transforming from a primarily residential to a more urban community. Nearly 1,000 new residents move into the community each month, and the Town of Gilbert has a current population of about 220,000, reflecting a nearly 30 percent increase in 4 years.

The Gilbert Fire Department (GFD) provides emergency fire, hazardous materials, and Advanced Life Support level medical services, prevention and public education programs, and various support functions to the Town of Gilbert and surrounding communities. The GFD service area covers approximately 76 square miles with nine fire stations, serving a population of about 235,000. GFD operates within an automatic aid system that includes 26 other communities and provides mutual aid through a separate agreement to the adjoining Gila River Indian Community. The GFD responded to 13,379 incidents in 2009.

Fire Station No. 10 would provide first due response to a service area of about 9 square miles composed of a mix of residential, commercial, educational, and industrial land uses, including a number of facilities considered to be target hazards and critical infrastructure. Currently, service to this area is provided from existing Gilbert fire stations and through automatic aid responses from the Mesa and Chandler fire departments. The number of incidents in the Fire Station No. 10 first due area increased by 8 to 10 percent annually over the past 3 years, and the current call volume for the Fire Station No. 10 service area is estimated to be from about 1,500 to 1,600 incidents per year. Most of these incidents involved Emergency Medical Service responses (65 percent), with the remainder comprising responses to fires (16 percent) and other types of incidents (19 percent).

Construction of Fire Station No. 10 is needed to improve response times and meet National Fire Protection Association (NFPA) standards. The applicable standard in NFPA 1710 is the arrival of the first due fire engine at the incident within 4 minutes, 90 percent of the time (NFPA 2010). Currently, response times into the Fire Station No. 10 service area average 6 minutes 24 seconds. Compliance with NFPA 1710 first due standards is only achieved 33 percent of the time, with 20 percent of the responses exceeding 8 minutes. Based on computer modeling, it is estimated that construction and operation of Fire Station No. 10 would achieve a 4-minute response to approximately 90 percent of the service area and would therefore meet the NFPA first due standards. Construction and operation of this fire station would also result in average response times of 6 minute or less in 100 percent of the service area.

3.0 ALTERNATIVES

3.1 No Action

Under the No Action alternative, Fire Station No. 10 would not be constructed. The area surrounding its proposed location would continue to be serviced by other neighboring communities (Mesa, Chandler) or the nearest GFD fire stations (No. 7 and No. 3), which are 1.5 miles and 3 miles away, respectively. This would result in average response times in excess of 6 minutes and would not meet the NFPA 1710 standard.

3.2 Proposed Action

The Proposed Action is the use of FEMA Grant No. EMW-2009-FC-02614 for the construction of Town of Gilbert Fire Station No. 10 at 1280 W. Guadalupe Road, Gilbert, Arizona. The fire station would be constructed on an approximately 3-acre, previously undeveloped site in an urbanized part of northwest Gilbert. Adjacent land uses are mixed-use residential, commercial, and light industrial. Appendix A includes photos that show the current site conditions.

Fire Station No. 10 is designed as a 10,500-square-foot facility to be staffed 24 hours a day, 7 days a week. The facility includes a dayroom that doubles as a crew training space, kitchen and dining area, gender-specific restroom/locker rooms and sleeping dorms, offices for captain and crew, study and fitness rooms, equipment/supply storage, decontamination and laundry rooms, maintenance/workbench area, and a secure public access lobby. The station design includes four apparatus bays that would initially house an engine company, reserve apparatus, and a support vehicle. The fourth bay would be reserved for a future aerial apparatus or second engine company. Fire Station No. 10 would use conventional as well as renewable (solar) utilities. The facility would include parking areas, driveways, a landscaped retention area, and a fuel station. A traffic control device would be installed on Guadalupe Road. Appendix B contains the site and traffic control plans.

Construction would be anticipated to start in October 2010 and be completed by August 2011 and would involve grading; construction of building, parking, and retention areas; and trenching and installation of utilities. Construction staging would occur on-site, and any fill material required would be obtained from an approved off-site source. The fire station would be operational by September 2011.

3.3 Alternatives Considered But Eliminated

Alternatives to the Proposed Action are confined by the need to locate the fire station centrally in the service area, on lands available to the Town of Gilbert and zoned for this purpose, and to provide direct access to a major arterial roadway. Over the past 15 years, the Town of Gilbert has undertaken a long-term infrastructure planning process. This planning process resulted in a Capital Improvements Plan (CIP) that outlined the necessity, location, timing, and funding for all municipal capital projects. The CIP is updated annually to accurately reflect project requirements and status. During the planning process, fire station locations were determined by applying the response area system recommended by the Insurance Services Office (ISO). Based on those early applications of the ISO system, Gilbert identified approximate locations for future fire stations, which were later verified using Geographic Information System technology to ensure that locations were based on growth patterns of the town. Based on these planning considerations, the parcel at 1280 W. Guadalupe Road was purchased for construction of Fire Station No. 10.

The proposed site for Fire Station No. 10 is centrally located within the service area; has direct access to Guadalupe Road, a major arterial through the Town of Gilbert; and is on land currently owned by the Town of Gilbert and planned specifically for this purpose. Therefore, no alternative sites were considered.

4.0 AFFECTED ENVIRONMENT AND POTENTIAL IMPACTS

4.1 Physical Resources

4.1.1 Geology and Soils

The site is located in south-central Arizona within the Basin and Range physiographic province in the urbanized Phoenix metropolitan area. The project area is on a nearly flat depositional plain within the Middle Gila River watershed at an approximate elevation of 1,215 feet above mean sea level. Gilbert has an arid climate, and the area receives an annual average precipitation of about 7 inches (Western Regional Climate Center 2010).

Surface geology is described as Quaternary-aged sand, gravel, and conglomerate (Wilson et al. 1957). Soils are predominantly Mohall loams, which are well-drained soils with 0 to 1 percent slope and formed from mixed old alluvium parent material. Contine clay loams are a minor component of the soils on the site and are described as well-drained soils with 0 to 1 percent slope and formed from mixed alluvium parent material (U.S. Department of Agriculture [USDA] 2010a).

The Farmland Protection Policy Act (P.L. 97-98, Sections 1539–1549; U.S. Code 4201, et seq.) was enacted to minimize the unnecessary conversion of farmland to non-agricultural uses as a result of federal actions. The Natural Resources Conservation Service (NRCS) is responsible for protecting significant agricultural lands from irreversible conversions that result in the loss of an essential food or environmental resource; this protection includes lands designated by the NRCS as important farmlands based on soil types present. The soil type in the project area (Mohall loam) is considered prime farmland if irrigated (USDA 2010a); however, the site is undeveloped and has not been used for agricultural purposes since at least 2002, when the Town of Gilbert acquired the property.

No Action: Because the fire station would not be constructed, the No Action alternative would have no impacts on soils, geology, or farmland.

Proposed Action: Construction of the fire station would result in temporary disturbance of surface soils in the project area. Implementation of Best Management Practices (BMPs) identified in the Storm Water Pollution Prevention Plan (SWPPP) would minimize soil erosion and loss until construction is complete and the site is permanently stabilized.

Though soils mapped in the project area are identified by the NRCS as supporting important farmland if irrigated, the U.S. Census Bureau website Urbanization Reference Map identifies the site as an urbanized area (U.S. Census Bureau 2000a). According to Steve Smarik of NRCS, urbanized areas referenced on the U.S. Census Bureau website are not subject to the Farmland Conversion Impact Rating Form AC 1006 (USDA 2010b). Construction of the fire station would not result in the conversion of important farmlands to non-agricultural uses.

4.1.2 Air Quality

The 1990 Clean Air Act, its amendments, and NEPA require that air quality impacts be addressed in the preparation of environmental documents. The U.S. Environmental Protection Agency (EPA) established National Ambient Air Quality Standards (NAAQS) for six “criteria”

pollutants: carbon monoxide (CO), nitrogen dioxide (NO₂), ozone (O₃), particulate matter (PM₁₀ and PM_{2.5}), sulfur dioxide, and lead. Primary and secondary standards for NAAQS have been established for most of the criteria pollutants. The EPA is authorized to designate those locations that have not met the NAAQS as non-attainment and to classify these non-attainment areas according to their degree of severity. The project area is located within portions of Maricopa County designated as non-attainment for O₃ and PM₁₀, and designated as a maintenance area for CO.

For non-attainment areas, states are required to formulate and submit to the EPA State Implementation Plans (SIP), which outline those measures the state will use to attain and maintain compliance with NAAQS (40 CFR Part 51). Development of the SIP uses emission inventories for each of the nonattainment or maintenance pollutants and a baseline emission budget against which future emissions are compared; fire stations are not included in the SIP emission budgets (Maricopa County Air Quality Department 2010). Federally funded projects are subject to the SIP and the General Conformity Rule (GCR). The GCR requires that actions taken by federal agencies in nonattainment and maintenance areas do not interfere with a state's plans to meet national standards for air quality.

No Action: Under this alternative, the fire station would not be constructed and operated. Emergency calls in the project area would be serviced by neighboring communities (Mesa and Chandler) or the nearest GFD Fire Station (No. 7, approximately 1.5 miles away, or No. 3, approximately 3 miles away). Due to the longer distances traveled, this would result in higher emergency-vehicle-related emissions compared with the Proposed Action, though emissions would be minimal relative to other mobile sources in the area.

Proposed Action: Under this alternative, short-term emissions of criteria pollutants would occur during the construction phase. Construction equipment and personal vehicles would generate exhaust emissions, including NO₂ and CO; the operation of motor vehicles on unpaved surfaces and the use of earthmoving equipment may also generate particulate matter. The moving and handling of soil during construction would increase the potential for emissions of fugitive dust; however, any deterioration of air quality would be a localized, short-term condition that would be discontinued when the project has been completed and disturbed soils have been stabilized or permanently covered. Construction activities would be subject to Maricopa County Rule 310 and would be required to minimize fugitive dust emissions through watering, controlling entrainment of dust by vehicles, and/or other measures to reduce the disturbance of particulate matter. A list of actions to mitigate particulate matter impacts during construction is provided in a letter from the Arizona Department of Environmental Quality dated April 16, 2010, and included in Appendix E. Additional restrictions limiting emissions resulting from construction activities include Arizona Administrative Code (AAC) R18-2-604 through 607 and AAC R18-2-802 and 804.

During the operational phase, the transport of fire station personnel to and from the station and the station's response to emergencies would contribute to motor vehicle trips and generate air emissions; emission from a stationary natural gas generator at the facility would occur during periods requiring emergency backup power. The generator may require a Class II operating permit (AAC R18-2-302[B][2]).

Increases in ambient concentrations of the criteria pollutants resulting from emergency and staff vehicle emissions and the operation of the backup generator would be minimal. The proposed facility is expected to have no long-term adverse impacts on the air quality of the area.

Mitigation

- Based on the make and model of the backup generator procured, the Town of Gilbert would determine whether a Class II operating permit would be needed in accordance with AAC R18-2-302(B)(2).
- Construction activities would be subject to Maricopa County Rule 310 and would be required to minimize fugitive dust emissions through watering, controlling entrainment of dust by vehicles, and/or other measures to reduce the disturbance of particulate matter.
- During site preparation and construction, the contractor would:
 - Minimize land disturbance;
 - Suppress dust on traveled paths that are not paved through wetting, use of watering trucks, chemical dust suppressants, or other reasonable precautions to prevent dust from entering ambient air;
 - Cover trucks when hauling soil;
 - Minimize soil track-out by washing or cleaning truck wheels before leaving the construction site;
 - Stabilize the surface of soil piles; and
 - Create wind breaks.
- During site restoration, the contractor would:
 - Revegetate any disturbed land not used with native species in accordance with Executive Order (EO) 13112
 - Remove unused material, and
 - Remove soil piles via covered trucks.
- The contractor would comply with AAC R18-2-604 through 607, AAC R18-2-802, and R18-2-804.

4.2 Water Resources

4.2.1 Surface Water Quality

No perennial or ephemeral streams, drainages, or other surface water features are on the site. The site is within the Middle Gila River watershed. Storm flows in the area are captured by a storm drain system associated with Guadalupe Road.

No Action: Because the fire station would not be constructed, the No Action alternative would have no effect on surface water quality in the project area or within the watershed.

Proposed Action: Construction of the fire station would result in temporary disturbance of surface soils in the project area, increasing the potential for soil erosion and sedimentation. The

Town of Gilbert would be required to file a Notice of Intent under the Arizona Pollutant Discharge Elimination System (AZPDES) Construction General Permit and to prepare a SWPPP for the project. Implementation of BMPs identified in the SWPPP would minimize potential soil erosion, sedimentation, and discharge of other pollutants until construction is complete and the site is permanently stabilized.

The landscaped retention area included as part of the site design would control storm water discharges from the project area and minimize potential water quality impacts once the facility has been constructed.

Mitigation

- Because the project would disturb more than 1 acre, prior to construction, the Town of Gilbert would file a Notice of Intent under the AZPDES Construction General Permit and prepare a SWPPP.

4.2.2 Waters of the United States, Including Wetlands

The U.S. Army Corps of Engineers (USACE) regulates the placement of dredged or fill material into Waters of the United States (Waters) under the federal Clean Water Act (CWA). Authorization from the USACE and the Arizona Department of Environmental Quality would be required under CWA Sections 404 and 401 for discharge of dredged or fill material to Waters, including wetlands. Furthermore, EO 11990 directs federal agencies to take actions to minimize the destruction, loss, or degradation of wetlands and to preserve and enhance the values of wetlands. A site visit was conducted on March 22, 2010, by a biologist qualified to assess the occurrence of wetlands and other Waters. No hydrophytic vegetation or field indicators of wetland hydrology were observed on-site. Soils mapped in the project area are not identified as hydric soils by the NRCS. No drainages were observed in the project area that would potentially be considered jurisdictional Waters by the USACE. The project site does not support wetlands or other Waters; therefore, permitting under CWA Sections 404 and 401 would not be required.

No Action: Under this alternative, Fire Station No. 10 would not be constructed. The No Action alternative would have no effect on wetlands or other Waters and would not require a Section 404 permit or Section 401 water quality certification.

Proposed Action: The project area does not support any wetlands or other potential Waters. Therefore, construction of the fire station would have no effect on wetlands or other Waters and would not require a Section 404 permit or Section 401 water quality certification.

4.2.3 Floodplains

EO 11998 (Floodplain Protection) requires federal agencies to avoid or minimize development in the floodplain except where there are no practicable alternatives. FEMA regulations related to the implementation and enforcement of EO 11998 are set forth in 44 CFR Chapter 1 (10-1-03 Edition). A review of FEMA Flood Insurance Rate Map 04013C2655G, Panel 2655 (FEMA 2005) shows that the project area is designated as Zone X (shaded) and is defined as “areas of 0.2% annual chance flood, areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile, and areas protected by levees from

1% annual chance flood,” also identified as the 500-year floodplain. A copy of the floodplain map is included as Appendix C.

FEMA’s procedures for implementing EO 11998 (44 CFR Part 9, Section 9.6) include an eight-step planning process that decision-makers must use when considering projects that have potential impacts to or within a floodplain. The eight-step planning process includes public notification of the Town of Gilbert’s intent to build within the floodplain, consideration of practicable alternatives to siting within the floodplain, an assessment of direct and indirect effects, and consideration of measures to minimize harm.

No Action: Because no fire station would be constructed, the No Action alternative would have no effect on floodplains.

Proposed Action: Because Fire Station No. 10 would be sited in a 500-year floodplain, the Town of Gilbert has initiated FEMA’s eight-step planning process. The results of the eight-step planning process indicate that there are no practicable alternatives because the entire service area for the fire station is in the 500-year floodplain. Furthermore, the Proposed Action would not result in adverse impacts to the 500-year floodplain or to wetlands and, therefore, no measures to minimize harm were required. A full summary of the eight-step planning process is included in Appendix D.

4.3 Biological Resources

4.3.1 Flora and Fauna

The project area occurs within the Lower Colorado River subdivision of the Sonoran desertscrub biome, but floral and faunal communities have been altered by previous grading and clearing of the site and urbanization of the surrounding areas. The project area is currently an undeveloped, previously graded lot that supports primarily annual and weedy grasses and forbs and some ornamental trees along the frontage to Guadalupe Road. Fauna are likely to be limited to non-native species adapted to urban settings, such as exotic birds (pigeons, house sparrows, etc.), rodents, and invertebrates. A field investigation was conducted in the project area on March 22, 2010, to determine the potential presence of Western burrowing owls (*Athene cunicularia hypugaea*), a species protected under the Federal Migratory Bird Treaty Act. No burrowing owls or potential nesting or roosting sites were observed.

No Action: The No Action alternative would have no effect on flora or fauna in the project area because the site would not be developed for the proposed fire station.

Proposed Action: Construction of the fire station would result in the permanent modification and development of about 3 acres of previously disturbed open area. This would result in the removal of a small number of non-native ornamental trees and predominantly non-native and weedy grasses and forbs. Affected fauna would be limited and would be primarily non-native species adapted to urbanized settings.

4.3.2 Threatened, Endangered, and Candidate Species and Critical Habitat

The U.S. Fish and Wildlife Service (USFWS) list of threatened, endangered, and candidate species for Maricopa County (USFWS 2010) was reviewed by a biologist qualified to determine

which listed species may occur in the project vicinity (Table 1). FEMA requested the USFWS to concur with a finding of no effect on listed endangered or threatened species for the project (Meyer [FEMA] to Spangle [USFWS], January 13, 2010) (Appendix E). The USFWS responded with concurrence and stated that no further review is required (Spangle [USFWS] to Meyer [FEMA], February 23, 2010) (Appendix E).

Information regarding the presence of special status species was requested from the Arizona Game and Fish Department (AGFD) through its On-line Environmental Review Tool and through correspondence (Appendix E). The AGFD On-line Environmental Review Tool indicated no known records of any threatened or endangered or candidate species within 3 miles of the project area. A Wildlife Species of Concern in Arizona, the Black-bellied Whistling-Duck (*Dendrocygna autumnalis*), has been recorded within 3 miles of the site (Appendix F). The project area does not provide suitable habitat for this species.

No Action: The No Action alternative would have no effect on threatened, endangered, or candidate species or designated critical habitat because the fire station would not be constructed on the site.

Proposed Action: There are no known records of threatened, endangered, or candidate species in the project area, and there is no designated critical habitat. The project area does not provide suitable habitat for any of the 15 threatened, endangered, or candidate species listed for Maricopa County. Therefore, construction and operation of the proposed fire station under this alternative would have no effect on threatened or endangered species or designated critical habitat.

Table 1. USFWS listed and candidate species in Maricopa County and evaluation of effects.

Common Name	Scientific Name	Status	Suitable Habitat Present?	Occupied Habitat Present?	Critical Habitat Present?	Species Affected?	Critical/Suitable Habitat Affected?
Arizona cliffrose	<i>Purshia subintegra</i>	E	No	No	No	No	No
Bald eagle	<i>Haliaeetus leucocephalus</i>	T	No	No	No	No	No
California least tern	<i>Sterna antillarum browni</i>	E	No	No	No	No	No
Desert pupfish	<i>Cyprinodon macularius</i>	E	No	No	No	No	No
Gila topminnow	<i>Poeciliopsis occidentalis occidentalis</i>	E	No	No	No	No	No
Lesser long-nosed bat	<i>Leptonycteris curasoae yerbabuena</i>	E	No	No	No	No	No
Mexican spotted owl	<i>Strix occidentalis lucida</i>	T	No	No	No	No	No
Razorback sucker	<i>Xyrauchen texanus</i>	E	No	No	No	No	No
Roundtail chub	<i>Gila robusta</i>	C	No	No	No	No	No
Sonoran pronghorn	<i>Antilocapra americana sonoriensis</i>	E	No	No	No	No	No

Table 1. USFWS listed and candidate species in Maricopa County and evaluation of effects.

Common Name	Scientific Name	Status	Suitable Habitat Present?	Occupied Habitat Present?	Critical Habitat Present?	Species Affected?	Critical/Suitable Habitat Affected?
Southwestern willow flycatcher	<i>Empidonax traillii extimus</i>	E	No	No	No	No	No
Tucson shovel-nosed snake	<i>Chionactis occipitalis klauberi</i>	C	No	No	No	No	No
Woundfin	<i>Plagopterus argentissimus</i>	E	No	No	No	No	No
Yellow-billed cuckoo	<i>Coccyzus americanus</i>	C	No	No	No	No	No
Yuma clapper rail	<i>Rallus longirostris yumanensis</i>	E	No	No	No	No	No

C = Candidate, E = Endangered, T = Threatened (USFWS 2010)

4.4 Historic Properties

Cultural resources are properties that reflect the heritage of local communities, states, and nations. Properties judged to be significant and to retain sufficient integrity to convey that significance are termed “historic properties” and afforded certain protections in accordance with federal legislation. In addition to review under NEPA, consideration of effects to historic properties is mandated under Section 106 of the National Historic Preservation Act (NHPA), as amended. The NHPA defines historic properties as sites, buildings, structures, districts, and objects included in, or eligible for inclusion in, the National Register of Historic Places (NRHP), as well as the artifacts, records, and remains related to such properties. “Traditional cultural properties” having heritage value for contemporary communities (often, but not necessarily, Native American groups) also can be listed in the National Register because of their association with historic cultural practices or beliefs that are important in maintaining the cultural identities of such communities.

Regulations for *Protection of Historic Properties* (36 CFR Part 800), which implement Section 106, were most recently amended in 2004. These regulations define a process for responsible federal agencies to consult with the State Historic Preservation Office (SHPO), Native American groups, other interested parties, and when necessary, the Advisory Council on Historic Preservation (ACHP) to ensure that historic properties are duly considered as federal undertakings are planned and implemented.

4.4.1 Historic

FEMA defined the area of potential effects as the 3-acre parcel proposed for construction of the fire station and an additional adjacent 3,570-square-foot parcel on Guadalupe Road where a traffic control device is to be constructed. The APE has been surveyed intensively for cultural resources and the vicinity subjected to a search for NRHP-listed properties (Appendix G). No NRHP-eligible or ineligible archaeological sites were recorded or identified as a result of the survey, nor are there any NRHP-listed properties near the proposed construction site. FEMA consulted with the Arizona SHPO, providing the information presented here and making a

determination of “no historic properties affected” pursuant to 36 CFR Part 800.4(d)(1) (Meyer [FEMA] to Garrison [SHPO], January 13, 2010), and SHPO concurred (Medley [SHPO] to Meyer [FEMA], February 11, 2010).

4.4.2 Resources Important to Native Americans

In a letter dated February 5, 2010, from Donna M. Meyer, Deputy Environmental and Historic Preservation Officer, FEMA consulted with the Arizona SHPO and the following tribes: the Ak-Chin Indian Community, the Fort McDowell Yavapai Nation, the Gila River Indian Community, the Salt River Pima-Maricopa Indian Community, the San Carlos Apache Nation, the Tohono O’odham Nation, the Yavapai-Apache Nation, and the White Mountain Apache Tribe. The tribes were asked to provide comments regarding historic properties “including those of traditional religious and cultural importance” and to participate in the resolution of any adverse effects. No responses were received.

No Action: Under the No Action Alternative, there would be no construction and no impacts to historic or cultural resources.

Proposed Action: Construction of the proposed fire station would not impact any historic properties.

4.5 Socioeconomic Resources

4.5.1 Environmental Justice

Title VI of the Civil Rights Act of 1964 ensures that individuals are not excluded from participation in, denied the benefit of, or subjected to discrimination under any program or activity receiving federal financial assistance on the basis of race, color, and national origin. EO 12898 *Federal Actions to Address Environmental Justice in Minority Populations and Low-Income Populations* directs that federal programs, policies, and activities do not have disproportionately high and adverse human health and environmental effects on minority and low-income populations.

The data used for this Environmental Justice analysis were taken from the 2000 Census (U.S. Census Bureau 2000b). Data specific to the project area at the Block Group (BG) level were evaluated. The construction footprint for the Proposed Action falls within Census Tract (CT) 4226.03, BG 3 and BG 4, and is immediately adjacent to CT 4202.03, BG 4. The Town of Gilbert and Maricopa County were used as comparison populations to determine whether the selected BG contained concentrations of minority populations or persons living below the poverty level.

For the purpose of environmental justice evaluations, a racial or ethnic minority population is an aggregate composed of the following categories: Black/African American, American Indian and Alaska Native, Asian, Native Hawaiian and Other Pacific Islander, Other Races, Two or More Races, and Hispanic. Table 2 lists the aggregate of these minority populations in the selected BG. Data from the 2000 Census indicate that minority populations occur in the selected BG. The percentage of minorities for CT 4226.03, BG 3 (16.0 percent) and BG 4 (0.5 percent), and CT 4202.03, BG 4 (6.8 percent) are lower than the corresponding percentages for the Town of Gilbert (20.7 percent) and Maricopa County (33.8 percent).

The U.S. Department of Health and Human Services poverty guideline in 1999 was an income of \$16,700 for a family of four. Data from the 2000 Census indicate that individuals living below the poverty level reside in the selected BG. As shown in Table 2, the percentage of persons living below the poverty level for CT 4226.03, BG 3 (3.8 percent) and BG 4 (8.2 percent) and CT 4202.03, BG 4 (16.2 percent) are lower than the corresponding percentage in the comparison populations of the Town of Gilbert (3.2 percent) and Maricopa County (11.8 percent).

Based on this analysis, the selected BGs do not reflect percentages that are meaningfully higher than the comparison populations; therefore, the selected BGs are not considered to have protected populations.

Table 2. 2000 total minority and below poverty level populations.

Area	Total Population	Total Minority ^a		Total Population for Whom Poverty Is Determined	Below Poverty Level	
		#	Percent		#	Percent
CT 4202.03, BG 4	693	47	6.8	693	112	16.2
CT 4226.03, BG 3	1,384	222	16.0	1,267	48	3.8
CT 4226.03, BG 4	1,513	7	0.5	919	75	8.2
Town of Gilbert	109,936	22,699	20.7	109,547	3,529	3.2
Maricopa County	3,072,149	1,038,729	33.8	3,027,299	355,668	11.8

^a "Total Minority" is composed of all people who consider themselves Non-White racially plus those who consider themselves White Hispanic.

No Action: The No Action alternative would have no direct impacts on minority or low-income populations because no construction would occur. As the area continues to develop, all nearby residents will be affected equally by the distance fire department personnel have to travel to reach the area.

Proposed Action: Construction of the fire station under this alternative would result in quicker response times by fire personnel to the surrounding neighborhoods. This alternative would have an equally beneficial impact on nearby residents, including minority populations and persons living below the poverty level.

4.5.2 Noise

Noise is considered unwanted sound and is typically measured in decibels (dB). The day-night average sound level (L_{dn}) is the 24-hour average sound level, in dB, obtained after the addition of 10 dB to the sound levels occurring between 10 p.m. and 7 a.m. and is used by agencies for estimating sound impacts and establishing guidelines for compatible land uses. The U.S. Department of Housing and Urban Development (HUD) regulations set acceptable noise levels at 65 L_{dn} or less (24 CFR Part 51, Subpart B). The Town of Gilbert Noise Ordinance establishes an equivalent interior sound level from exterior sources for residential areas of 55 A-weighted decibels (dBA) between 5 a.m. and 10 p.m. and 45 dBA between 10 p.m. and 5 a.m. (Town of Gilbert 2002). Exterior noise sources may not exceed these limits for more than 15 minutes and twice in one hour. Typical residential construction codes require a minimum exterior to interior insertion loss, or noise reduction, of 20 dBA; therefore, the Town of Gilbert noise thresholds are equivalent to the HUD standard.

The EPA identifies a 24-hour exposure level of 70 dB as the level of environmental noise that will prevent any measurable hearing loss over a lifetime and noise levels of 55 dB outdoors and 45 dB indoors as preventing activity interference and annoyance (e.g., spoken conversation, sleeping, working, recreation) (EPA 1974). The levels identified represent averages over long periods of time rather than single events or “peak” levels.

Noise-sensitive receptors are land uses associated with indoor or outdoor activities that may be subject to stress or substantial interference from noise. These generally include residences, hotels/motels, nursing homes, schools, and libraries. At a sound level of 115 dBA at 10 feet for a siren and a standard attenuation rate of 6 dBA per doubling of distance, siren noise from fire trucks leaving the fire stations would be attenuated to the 65 dBA HUD standard within approximately ½ mile of the source. Locations most affected by fire truck sirens would be those around the fire station (within ½ mile) and along Guadalupe Road to the first main arterial intersections to the east and west (Cooper Road and McQueen Road, respectively). Noise-sensitive receptors within this distance include multi-tenant housing directly on the south side of Guadalupe Road, a church southwest of the proposed station location on the south side of Guadalupe Road, and single-family homes north and south of Guadalupe Road.

Local traffic contributes to the existing noise environment, primarily during the morning (6 a.m. to 9 a.m.) and evening (4 p.m. to 6 p.m.) peak periods. Peak-hour traffic on Guadalupe Road, estimated from 2007 Maricopa Association of Governments traffic counts, is approximately 2,400 vehicles per hour. Peak-hour vehicles traveling at the posted speed of 45 miles per hour generate approximately 58 dBA at a distance of 300 feet from the roadway.

No Action: The No Action alternative would result in no noise-related impacts because the new fire station would not be constructed.

Proposed Action: Construction of the fire station under this alternative would result in short-term increases in noise levels from construction equipment and activities. Construction activities would be limited to daylight hours and, therefore, would not affect ambient noise levels at night in surrounding residential areas.

Once the fire station is operational, there would be a long-term, intermittent increase in traffic and siren noise from emergency response personnel and activities. Siren noise from fire trucks leaving the facility would result in occasional peak noise events of up to 115 dBA at the source that would be the dominant noise source even during peak traffic hours but would be attenuated over distance. This would primarily affect noise-sensitive receptors within ½ mile of the source in the identified analysis area; these receptors include the multi-tenant residences, single-family homes, and a church on the south side of Guadalupe Road. These peak noise events would be short in duration and infrequent, and they would not be expected to result in exceedance of EPA or HUD 24-hour exposure levels or violate the Town of Gilbert ordinance. The multi-tenant housing located along eastbound Guadalupe Road and directly across from the Fire Station No. 10 driveway exit has the greatest potential exposure to the temporary peak noise events. Activation of sirens on emergency vehicles leaving the fire station has the potential to result in disruption of church services, though this would be temporary in nature and infrequent (limited to occasions when emergency calls and church services coincide).

EPA, HUD, and Town of Gilbert standards do not apply to emergency vehicles; therefore, noise abatement standards and methods have not been established for fire truck sirens and air horns. Some municipalities and fire companies have developed policies to limit the number of 911 responses when a siren is activated to emergency medical calls only. Traffic signal timing can be coordinated to automatically switch to green for fire trucks exiting the station, stopping oncoming street traffic on Guadalupe Road and reducing or eliminating the need for sirens and air horns.

A traffic control device will be installed at the location where emergency vehicles exit the station and enter Guadalupe Road; this will minimize noise impact to adjacent properties. The traffic control device is designed to alert and stop traffic in both directions, allowing the emergency vehicle to enter the roadway. Traffic control devices minimize the need for full use of sirens, which are intended to alert motorists.

The project has since been presented to, and approved by, the Fiesta Ranch Business Park Owners Association. Prior to construction, the project will be presented in an open-house forum intended to solicit feedback from adjacent property owners.

4.5.3 Traffic/Transportation

The project area is located on Guadalupe Road, an arterial through the northwest portion of Gilbert. Guadalupe Road is a two-way, two-lane roadway with a center median. Signalized intersections are at the nearest main arterial intersections (Cooper Road, ½ mile east, and McQueen Road, ½ mile west).

No Action: Because the fire station would not be constructed, the No Action alternative would not affect traffic or transportation patterns in the project area.

Proposed Action: Under this alternative, a traffic control device would be constructed and operated on Guadalupe Road at the fire station location. The proposed traffic control device would stop traffic on Guadalupe Road only when an apparatus needs to exit the station in response to an emergency. Through the operation of the traffic control device, motorists approaching the fire station from either direction would be alerted of the impending emergency response. Because emergency responses are a small percentage of total traffic and motorists on Guadalupe Road would be stopped prior to the exiting of the apparatus, impacts on traffic flow are expected to be minor.

4.5.4 Public Health and Safety

Currently, response times into the Fire Station No. 10 service area average 6 minutes 24 seconds. Compliance with NFPA 1710 first due standards is only achieved 33 percent of the time, with 20 percent of the responses exceeding 8 minutes. These response times result in reduced public health and safety for residents, businesses, institutions, and the general public.

No Action: Under the No Action alternative, Fire Station No. 10 would not be constructed, and the project area would continue to be served by the other fire stations in the general area—particularly Fire Station No. 7 and Fire Station No. 3, located 1.5 and 3 miles away, respectively, or by fire stations in the surrounding communities. Area residents, businesses, institutions, and

the general public in the project area would continue to experience emergency response times that average in excess of 6 minutes.

Proposed Action: Construction and operation of Fire Station No. 10 would allow the GFD to meet its community response time goal of four minutes on average and significantly improve its NFPA 1710 compliance. Improved emergency response times would enhance public health and safety. The Proposed Action would also improve public health and safety in the cities of Mesa and Chandler, which are automatic aid and mutual aid partners. Fire Station No. 10 would be located near the Mesa and Chandler borders. In addition to decreasing the number of responses into Gilbert from these two communities, the GFD would be in a better position to provide aid to those cities.

4.6 Hazardous Materials

Hazardous wastes, as defined by the Resource Conservation and Recovery Act (40 CFR Part 261), are defined as a solid waste, or combination of solid wastes, that, because of quantity, concentration, or physical, chemical, or infectious characteristics, may (1) cause, or significantly contribute to, an increase in mortality or an increase in serious irreversible or incapacitating reversible illness or (2) pose a substantial present or potential hazard to human health or the environment when improperly treated, stored, transported, or disposed of or otherwise managed. The management of hazardous waste is regulated by the Arizona Department of Environmental Quality, the state environmental regulatory agency that oversees general compliance with state and federal environmental regulations.

A Phase I Environmental Site Assessment (ESA) was conducted at the proposed location for Fire Station No. 10 (Recon Engineering, Inc. 2009). The ESA was conducted in accordance with the American Society for Testing and Materials Standard E1527-05 to evaluate the property, identify potential recognized environmental conditions, and determine whether further investigation is warranted.

The ESA includes a summary of state and federal environmental databases, including the Arizona Superfund Program, the Comprehensive Environmental Response, Compensation and Liability Act, leaking underground storage tanks, the National Priority Lists (for Superfund), and the Water Quality Assurance Revolving Fund. A review of these databases revealed no hazardous materials concerns for the project area or its immediate surroundings.

A review of select historical aerial photographs dated 1937–2009 shows the project area as active or fallow agricultural land through the mid- to late 1990s. Based on this past use, it is possible that residual concentrations of some of the more persistent pesticides such as Toxaphene, DDT, etc., which were in use through the late 1970s, may still be present in the surface or near surface soils of the site. The Phase I ESA concludes that this does not represent a “recognized environmental condition” given the site’s planned development as a fire station, though this would represent a “recognized environmental condition” if the site were used for other purposes such as residential, school, daycare, etc. Site reconnaissance of the project area did not reveal existing hazardous materials, substances, or conditions. No structures or dedicated site uses were observed. Ground cover consisted of bare soil with scattered gravel, weeds, grasses, and trees. Large tire tracks were observed throughout the site and appeared to be caused by heavy

equipment traffic. Adjacent land use did not reveal existing hazardous materials, substances, or conditions.

No Action: The No Action alternative would not disturb hazardous materials or create any potential hazard to human health because the fire station would not be constructed.

Proposed Action: Construction of a new fire station would not disturb any known hazardous materials or create any potential hazard to human health. If hazardous materials are encountered in the project area during construction, appropriate measures for the proper assessment, remediation, and management of the contamination would be initiated in accordance with applicable federal, state, and local regulations. The contractor would take appropriate measures to prevent, minimize, and control hazardous materials, if necessary, during construction.

5.0 CUMULATIVE IMPACTS

Cumulative impacts represent the impact on the environment that results from the incremental impact of the action when added to other past, present, and reasonably foreseeable future actions, regardless of what agency (federal or non-federal) or person undertakes such other actions. Cumulative impacts can result from individually minor but collectively significant actions taking place over a period of time.

The level and scale of analysis should be commensurate with the proposed project's potential impacts, scale, and other factors. NEPA documents should consider those past, present, and future actions that incrementally contribute to the cumulative effects on resources affected by the proposed action. Fire Station No. 10 would have no cumulative impact on ecological or cultural resources because these resources would not be impacted by the project.

The Town of Gilbert is highly urbanized in the project vicinity—the majority of the land is developed. Vacant lots suitable for future development are of limited size and scattered through the project vicinity. Within the area, two future developments have been identified by the City's planning and development departments: expansion on the property identified as EchoStar Holding Corporation at 801 N. Horne St. and construction of a QuikTrip gasoline station at the northeast corner of Country Club Drive and Guadalupe Road. As with the Proposed Action, each of these proposed developments are of limited scale.

The Proposed Action would permanently convert open space and would constitute new air emission and noise sources in the area. Development of the fire station would have a minor cumulative effect on the quality of the human environment with past, present, and reasonably foreseeable future development and urbanization of the area. Cumulative impacts would be minor because the project would not affect sensitive or critical resources, lead to a wide range of effects, induce population growth, lead to further development, or require expansion of development infrastructure.

6.0 IRREVERSIBLE/IRRETRIEVABLE COMMITMENTS OF RESOURCES

The term "irreversible" is used to mean that which is impossible to reverse or undo, including the loss of future options. It is also used to describe the effects of the consumption of nonrenewable

resources and those that are renewable only over a long period of time. The term “irretrievable” is used to mean that which is impossible to recover or repair, such as the loss of production or harvest, or the use of natural resources.

Construction of Fire Station No. 10 would require the irreversible and irretrievable commitment of financial resources, labor, and natural resources, including fossil fuels, raw materials, and water. Operation and maintenance activities over the life of the project would also require the irreversible and irretrievable commitment of these resources. The commitment of land for the fire station construction would result in the irreversible loss of approximately 3 acres of open space.

7.0 RELATIONSHIP BETWEEN SHORT-TERM USE AND LONG-TERM PRODUCTIVITY

NEPA requires consideration of the relationship between local short-term uses of man’s environment and the maintenance and enhancement of long-term productivity. The intent is to employ all practicable means and measures in a manner that fosters and promotes general welfare, creates and maintains conditions under which man and nature can coexist, and fulfills the social, economic, and other requirements of present and future generations.

Construction and maintenance of the fire station would require the local short-term use of financial resources, manpower, and natural resources but would not be expected to result in the exploitation of natural resources, the degradation of the natural or human environment, or the decline of public welfare. The local short-term use of man’s environment required to implement the proposed project would be consistent with, and supportive of, the general welfare of the community by enhancing fire and emergency response capabilities for present and future generations for the life of the project.

8.0 AGENCY COORDINATION, PUBLIC INVOLVEMENT, AND PERMITS

8.1 Agency Coordination

Interagency reviews have been conducted in the form of agency consultation letters and the responses received from the agencies. The following agencies were consulted:

- U.S. Fish and Wildlife Service
- State Historic Preservation Office
- Native American Tribes
- Arizona Department of Environmental Quality
- Arizona Game and Fish Department
- Flood Control District of Maricopa County

Copies of agency coordination and consultation letters and responses are included in Appendix E.

8.2 Public Involvement

The introduction of this project to the community occurred in early 2001 through public hearings related to development of Gilbert's General Plan. The General Plan document was adopted by the Town Council on July 10, 2001, and approved by the citizens on November 6, 2001. The project has been approved by the Fiesta Ranch Business Park Owners Association and the Town of Gilbert Planning Department Design Review Board. The project was designed to 95 percent completion prior to the economic downturn, at which time Gilbert applied for and was awarded federal funding under the AFG. The grant award requires elements of the project to be redesigned in order to meet Leadership in Energy and Environmental Design (i.e., LEED) eligibility certification requirements. The fire station will be presented again to adjacent property owners in a neighborhood meeting once the redesign has been completed.

Notification of the availability of the Draft EA will be made through publication of a public notice in *The Arizona Republic*. A 15-day public comment period will commence on the initial date of publication of the public notice. Any applicable public comments received will be considered by FEMA in its decision whether to issue a Finding of No Significant Impact for this project.

8.3 Permits

The following permits and approvals may be required prior to construction:

- Arizona Pollutant Discharge Elimination System construction general permit
- Dust control permit for construction
- Class II operating permit for generator
- Grading permit (Town of Gilbert)
- Building permit (Town of Gilbert)

9.0 REFERENCES

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FEMA. 2005. Flood Insurance Rate Map 04013C2655G, Panel 2655, revised September 30, 2005. <http://map1.msc.fema.gov/idms/IntraView.cgi?KEY=8454979&IFIT=1>.

Heilman. 2010. Cultural Resource Survey for a Proposed Fire Station on the North Side of Guadalupe Road between McQueen and Cooper Roads in the Town of Gilbert, Maricopa County, Arizona. Unpublished report prepared for the Town of Gilbert. Arizona State Museum Accession No. 2010-0163. EcoPlan Associates, Inc. Project No. 10-311.

Maricopa County Air Quality Department. 2010. Personal communication. Dennis Haas, Visibility Services, Inc. and Bob Downing, Maricopa Air Quality Department. May 18.

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10.0 LIST OF PREPARERS

This *Draft Environmental Assessment for Town of Gilbert Fire Station No. 10* has been prepared for FEMA by the Town of Gilbert with the assistance of EcoPlan Associates, Inc., Visibility Services, Inc., and DM Environmental, LLC.

The following individuals participated in the development of this document:

FEMA

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Town of Gilbert

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- J. Simon Bruder
- Patrick E.T. Dockens
- Kathy Thielmann

Visibility Services, Inc.

- Dennis Haas

DM Environmental, LLC

- Joe D'Onofrio

APPENDIX A
Site Photos



Photo 1. View of the proposed location for Fire Station No. 10 from Guadalupe Road, facing north. Note Princeton Court in the center of the photo.



Photo 2. View of Princeton Court in the center of the site, facing east. Note the vegetation, existing utilities, and adjacent land use.



Photo 3. View of the proposed location for Fire Station No. 10 from the southeastern corner, facing west. Note Guadalupe Road on the left, the overhead power lines, and the established trees.



Photo 4. View of the proposed location for Fire Station No. 10 from the northwest corner, facing south. Note Princeton Court.

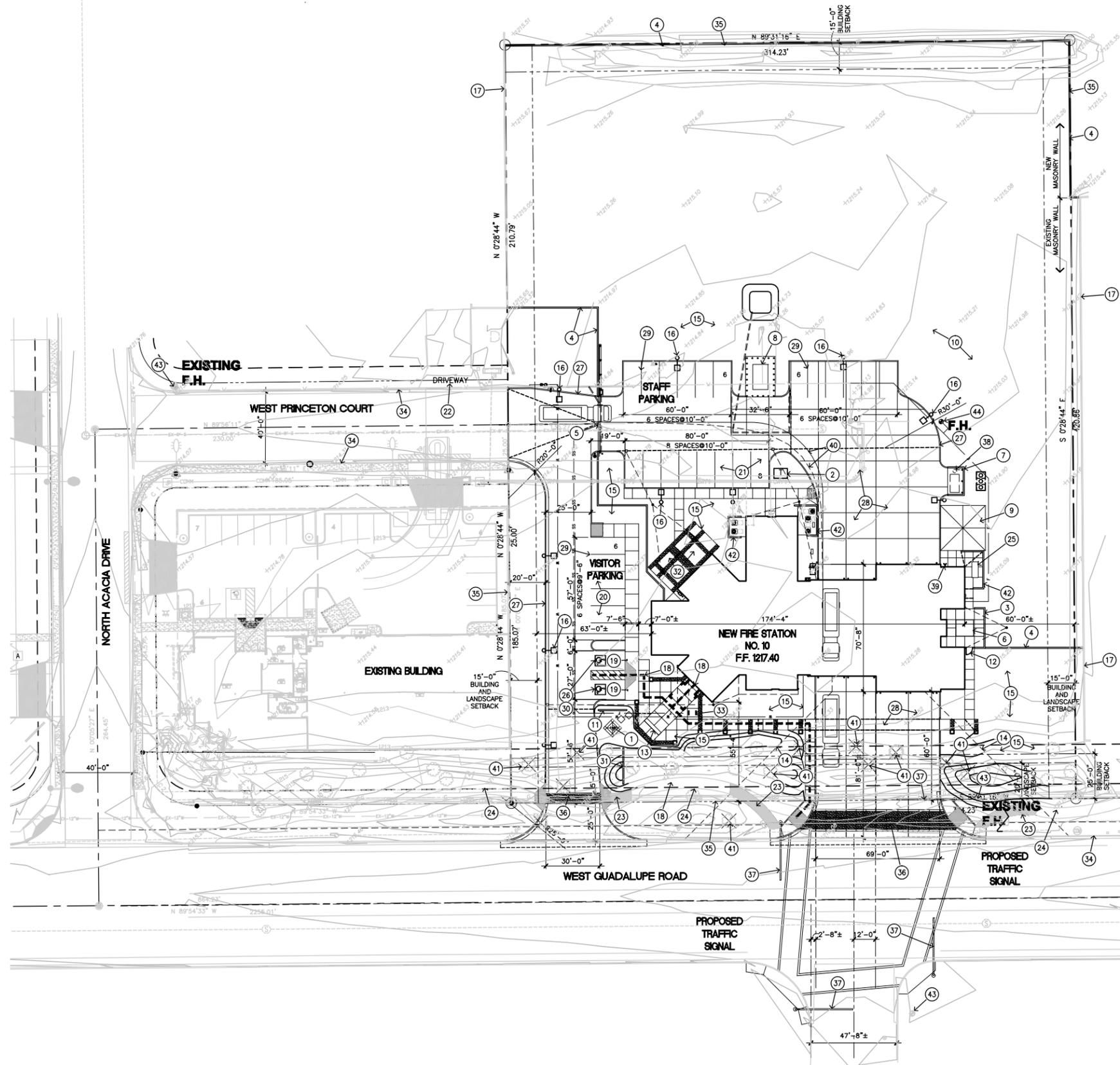
APPENDIX B
Site and Traffic Control Plans

TOWN OF GILBERT SITE PLAN NOTES:

T.O.G. Standard Commercial and Industrial Site Plan Notes - March 11, 2004

1. All utility lines less than 69 KV on or contiguous to the site shall be installed or relocated under ground.
2. All trash enclosures shall include fully opaque screening gates, finished and painted to match the enclosure. Screening gates shall not open into vehicular drive aisles. Trash enclosures are not required in industrial districts if located inside an enclosed yard, which is screened by a perimeter wall at least 6 feet in height.
3. All outdoor storage areas for storage of materials and equipment shall be fully screened from view by a 6' solid masonry wall. Industrial storage screen walls shall be finished where they are exposed to public view from streets or adjacent non-industrial uses.
4. S.E.S. panels and any other above ground utility cabinet shall be fully screened from view from streets or from areas accessible to customers and the general public. Screening may be accomplished by any one of the following methods:
 - a. Fully recessing the cabinet into the building and enclosing it by a solid door or doors separate from the cabinet;
 - b. Screening with a decorative masonry wall of the same height as the panel. The screen wall may be L-shaped, U-shaped or a straight wall parallel to the cabinet, depending on the location of the cabinet;
 - c. An alternative screening method approved by the Planning Department prior to issuance of any permits.
5. The location of all electrical utility equipment shall be identified on the construction plans.
6. Roof-mounted mechanical equipment shall be fully screened by either one of the following methods:
 - a. The parapet wall of the building shall equal or exceed the height of the mechanical units, or;
 - b. By locating the mechanical equipment behind the roof planes in the case of mansard, hip or other than flat roof.
7. Roof mounted mechanical equipment enclosures or equipment screen walls shall not project above the roof parapet. To the extent permitted by law, satellite dishes shall be fully screened by a parapet wall.
8. Ground mounted mechanical equipment shall be fully screened from view (from streets or surrounding commercial uses) by a combination of decorative walls and an evergreen vegetative hedge equal to or exceeding the height of the equipment.
9. Pneumatic tubes, whether metal or plastic, shall be either:
 - a. Enclosed in pilasters, columns or other architectural features of the canopy or building, or;
 - b. Routed under ground.
10. All backflow prevention devices 2" or larger shall be screened with landscape located within a 6' radius of the device. All backflow preventers less than 2" shall be placed in a wire cage painted to match the primary building color.
11. All freestanding light poles shall:
 - a. Be located within landscaped areas or planter islands.
 - b. Have concrete bases painted to match the primary building color or finished to match parking screen walls. Concrete bases for light poles shall not exceed a height of 30' from adjacent grade.
 - c. Be located to avoid conflict with trees.
12. Site lighting shall comply with the light and glare criteria set forth in Section 11.22.A of the ULDC, including a maximum freestanding light fixture height of 25'. The maximum height of a building mounted light fixture is 14'. The maximum height of a freestanding light fixture located within 100' of a residential zoning district or property designated for residential development in the General Plan is 14'.
13. Landscaped areas adjacent to public right-of-way shall be mounded and naturally contoured. No more than 50% of the required (right-of-way and landscaping tracts) landscaping fronting adjacent streets may be used for retention. Retention area side slopes shall be varied, and no slope shall exceed a 4:1 maximum.
14. Commercial building downspouts shall be internalized. Industrial buildings may use exposed downspouts if articulated with the architecture of the building and built with a durable material such as steel.
15. Commercial development vehicular access points and pedestrian access ways shall include special paving treatment such as integral colored stamped concrete, Boarmanite, or similar alternative. Location and material shall be reviewed and approved by the Planning Department prior to the issuance of a building permit.
16. Customer, employee and visitor parking shall be screened from street view by low masonry walls. The parking screen walls shall be finished on both sides using the same materials and colors, and a design to complement that of the main building.
17. All exterior metal shall be finished or painted to match the approved project colors.
18. Existing on-site plant material damaged during construction shall be replaced with comparable species and size.

Reduced size: Not to scale



NOTES

1. FLAG POLE.
2. ELECTRICAL EQUIPMENT.
3. 10'-0" MASONRY SCREEN WALL.
4. 6'-0" MASONRY WALL.
5. SLIDING SECURITY GATE.
6. MECHANICAL EQUIPMENT.
7. 6'-0" HIGH MASONRY SCREEN WALL FOR TRASH ENCLOSURE. PER GILBERT STANDARD.
8. FUEL STATION, CONCRETE SLAB AND BOLLARDS.
9. WASH SLAB.
10. NEW RETENTION AREA.
11. PARKING SCREEN WALL, 4'-0" HIGH.
12. GATE.
13. BENCH.
14. FIRE DEPARTMENT VISIBILITY LIMIT LINE.
15. LANDSCAPE AREA.
16. EXTERIOR LIGHT POLE AND FIXTURE 25 FT HIGH. PAINT.
17. EXISTING MASONRY WALL.
18. ADA ACCESSIBLE PATH OF TRAVEL.
19. ACCESSIBLE PARKING SIGNS.
20. VISITOR PARKING, ASPHALT PAVING.
21. STAFF PARKING, ASPHALT PAVING.
22. EXISTING DRIVEWAY CUT, TO REMAIN.
23. NEW PEDESTRIAN SIDEWALK.
24. EXISTING PEDESTRIAN SIDEWALK.
25. CONCRETE PAD FOR EMERGENCY GENERATOR.
26. PAINTED HANDICAP ACCESSIBLE PARKING SYMBOL.
27. NEW CONCRETE CURB.
28. 8" CONCRETE SLAB OVER COMPACTED SUB-GRADE.
29. 4" WIDE PAINTED PARKING SPACE STRIPE.
30. VAN ACCESSIBLE PARKING.
31. WALL SIGN "GILBERT FIRE STATION 10" 1280 WEST GUADALUPE ROAD
32. OUTDOOR COVERED BBQ AREA.
33. BICYCLE PARKING, FOUR SPACES.
34. EXISTING CURB.
35. PROPERTY LINE.
36. DECORATIVE PAVING - STAMPED, COLORED CONCRETE.
37. EMERGENCY TRAFFIC CONTROL SIGNAL ARM.
38. RECYCLE CONTAINER.
39. FIRE DEPARTMENT CONNECTION.
40. FIRE TRUCK TURNING RADIUS.
41. EXISTING TREES TO BE REMOVED.
42. SCREEN WALL AT EQUIPMENT.
43. EXISTING FIRE HYDRANTS.
44. NEW FIRE HYDRANT.



TOWN OF GILBERT
FIRE STATION NO. 10
 1280 W Guadalupe Rd
 GILBERT, ARIZONA 85234

PRELIMINARY
 NOT FOR
 CONSTRUCTION
 OR
 RECORDING

Job No.	0720
Drawn	DM
Checked	BRS
Date	JULY 2008
Revised	

95% SET

HDA ARCHITECTS, LLC.
 469 N. Gilbert Road, Suite C-200, GILBERT, AZ 85234
 TEL: (480) 539 8800 FAX: (480) 539 8608

SITE PLAN



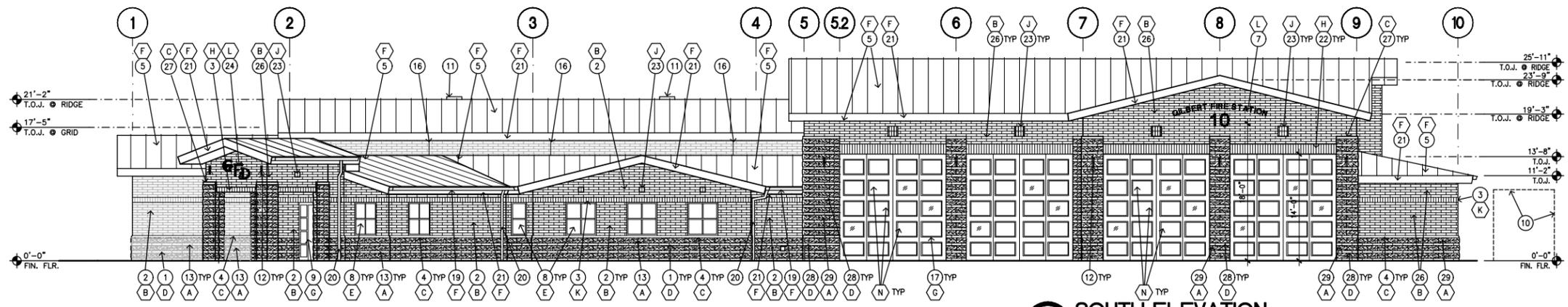
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SITE PLAN

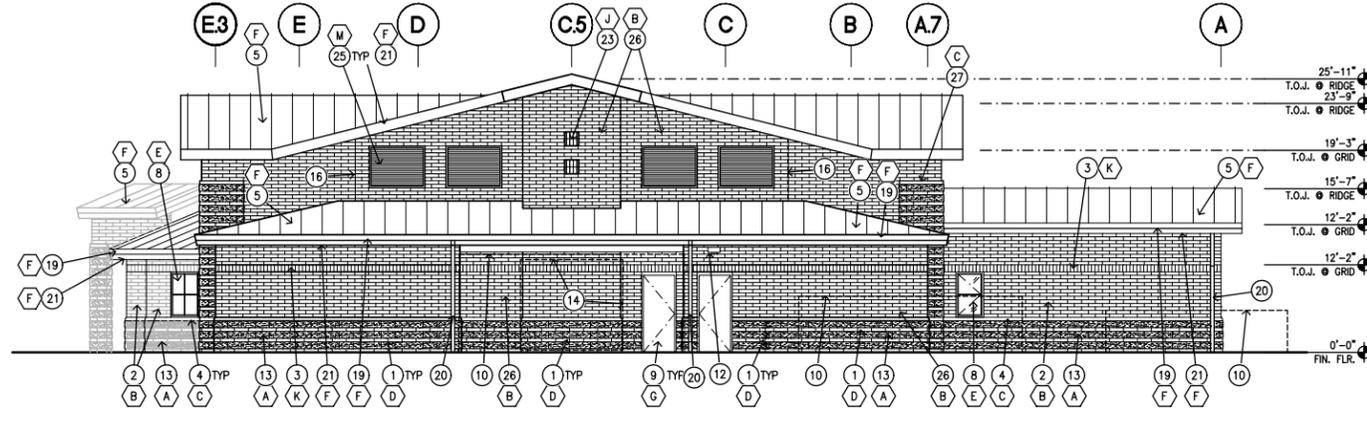
SHIFT BUILDING 12 FEET EAST

SCALE: 1" = 30'-0"

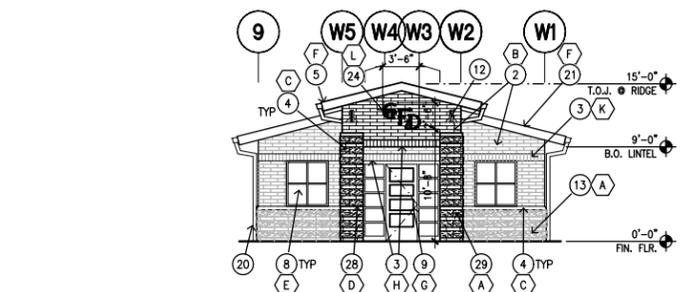




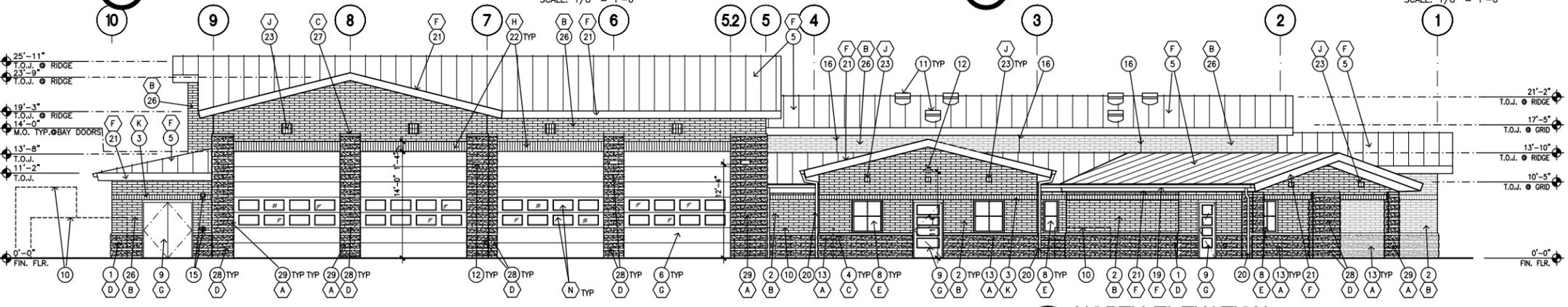
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



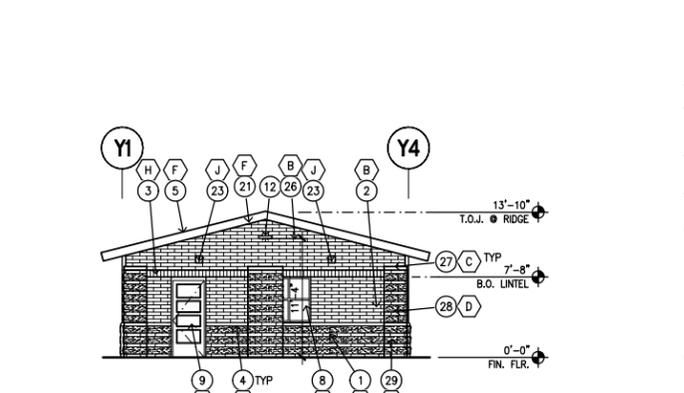
2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



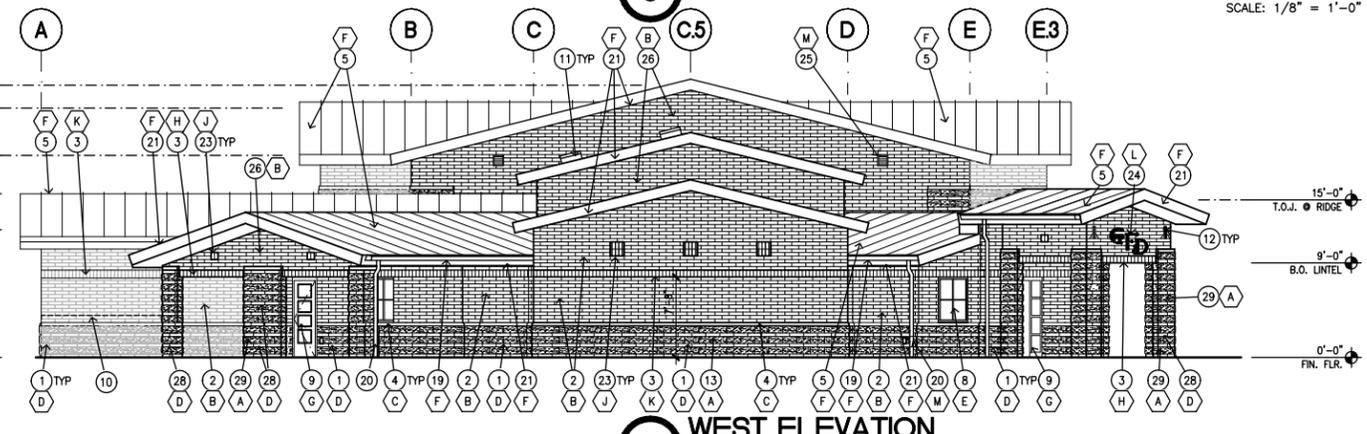
5 SOUTH ELEVATION AT ENTRY
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



6 NORTH ELEVATION AT KITCHEN
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

- NOTES**
- 6"x4"x16" SMOOTH FACE CMU.
 - 4"x4"x16" BRICK VENER.
 - 4"x8"x4" BRICK SOLDIER COURSE.
 - 4" HIGH CHAMFERED BRICK BAND.
 - STANDING SEAM METAL ROOFING.
 - SECTIONAL OVERHEAD DOOR AT APPARATUS BAY, TYPICAL AT NORTH ELEVATION. SEE DOOR SCHEDULE.
 - MIN. 12" HIGH CAST METAL BUILDING SIGNAGE.
 - WINDOW AND FRAME. SEE WINDOW SCHEDULE.
 - DOOR AND FRAME. SEE DOOR SCHEDULE.
 - BRICK SCREEN WALL FOR MECHANICAL EQUIPMENT.
 - SKYLIGHT.
 - EXTERIOR WALL MOUNTED LIGHT FIXTURE, SEE ELEVATION FOR MOUNTING HEIGHTS.
 - 6"x8"x16" SPLIT FACE CONCRETE MASONRY.
 - MECHANICAL EQUIPMENT BEYOND.
 - FIRE DEPARTMENT CONNECTION AND HORN STROBE.
 - MASONRY CONTROL JOINT, SEE 11 AND 12/A901.
 - BIFOLDING DOOR AT APPARATUS BAY, TYPICAL AT SOUTH ELEVATION. SEE DOOR SCHEDULE.
 - MECHANICAL LOUVER, SEE DETAILS 3 AND 8/AB21.
 - SHEET METAL GUTTER AND FASCIA SYSTEM. MATCH ROOF COLOR.
 - SHEET METAL DOWNSPOUT. MATCH BUILDING MASONRY COLOR.
 - PRE FINISHED METAL FASCIA SYSTEM. MATCH STANDING SEAM METAL ROOFING COLOR.
 - 4"x16"x4" BRICK SOLDIER COURSE.
 - 8" HIGH BRICK SOLDIER COURSE.
 - BRUSHED ALUMINUM FREESTANDING LETTERS.
 - EXTRUDED ALUMINUM LOUVER - PAINT TO MATCH BRICK.
 - 8"x4"x16" BRICK.
 - 4" HIGH BRICK CAP.
 - 10"x4"x16" SMOOTH FACE CMU.
 - 10"x8"x16" SPLIT FACE CMU.

- COLOR SCHEDULE**
- A BROWN SPLIT FACE CMU - UMBER BROWN.
 - B RED BRICK - MOUNTAIN RED.
 - C GOLD BRICK BAND - DESERT SAND.
 - D BROWN SMOOTH FACE CMU - UMBER BROWN.
 - E ALUMINUM WINDOW FRAMES - CHAMPAGNE W/GREEN GLASS.
 - F METAL ROOF - SLATE GRAY.
 - G PAINT - MATCH CHAMPAGNE WINDOW FRAMES.
 - H BROWN BRICK SOLDIER COURSE - VALLEY TAN.
 - J GOLD BRICK SOLDIER COURSE - DESERT SAND.
 - K RED BRICK SOLDIER COURSE - MOUNTAIN RED.
 - L METAL SIGNAGE - BRUSHED ALUMINUM.
 - M PAINT - MATCH RED BRICK.
 - N GREEN GLASS.

GILBERT
ARIZONA

TOWN OF GILBERT
FIRE STATION NO. 10
1280 W Guadalupe Rd
GILBERT, ARIZONA 85234

PRELIMINARY

NOT FOR CONSTRUCTION OR RECORDING

Job No. 0720
Drawn DM
Checked BRS
Date JULY 2008
Revised

95% SET

HDA ARCHITECTS, LLC.
489 N. Gilbert Road, Suite C-200, GILBERT, AZ 85234
TEL: (480) 539 8800 FAX: (480) 539 8608

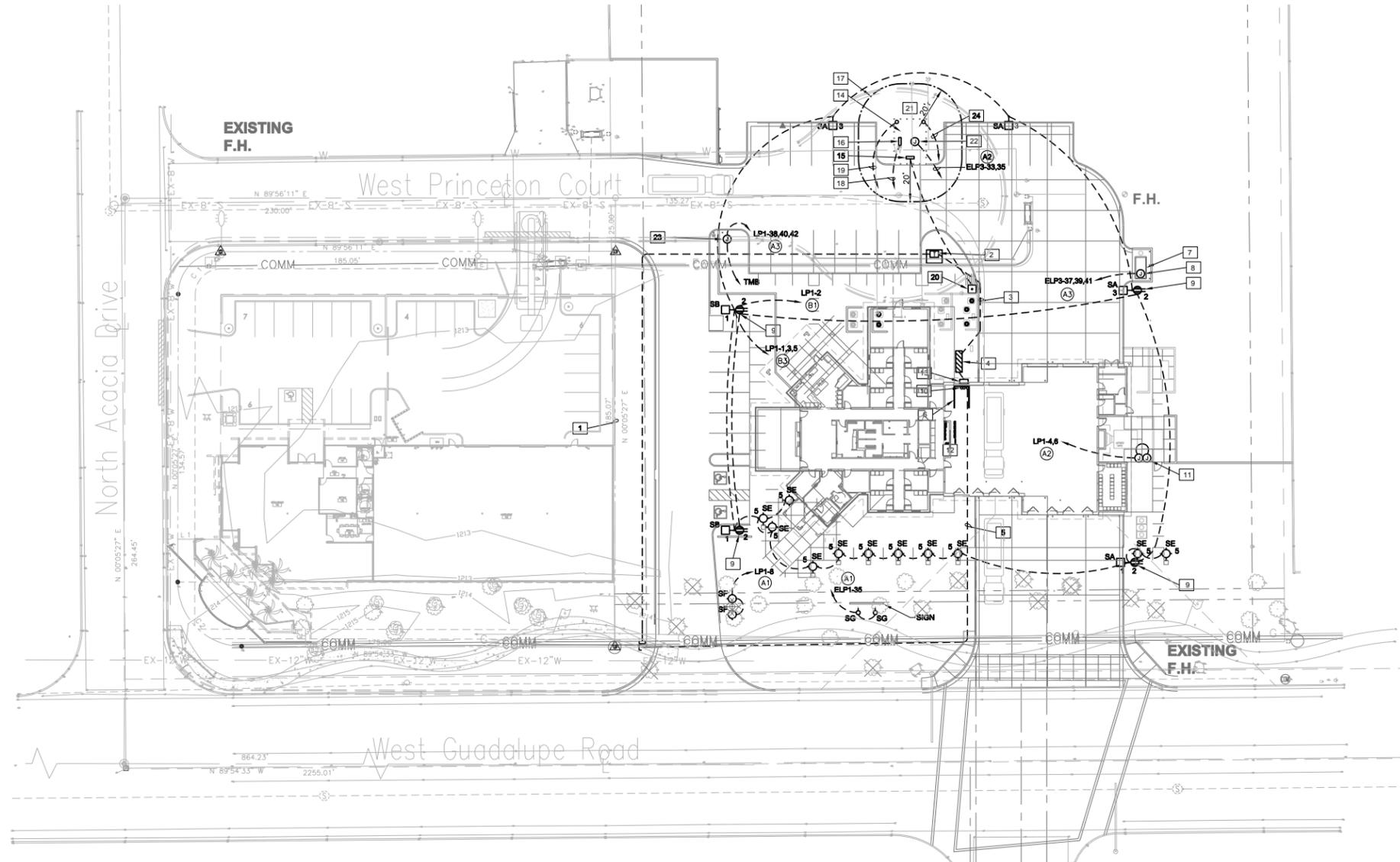
BUILDING AND WALL ELEVATIONS

HDA
HDA ARCHITECTS, LLC.

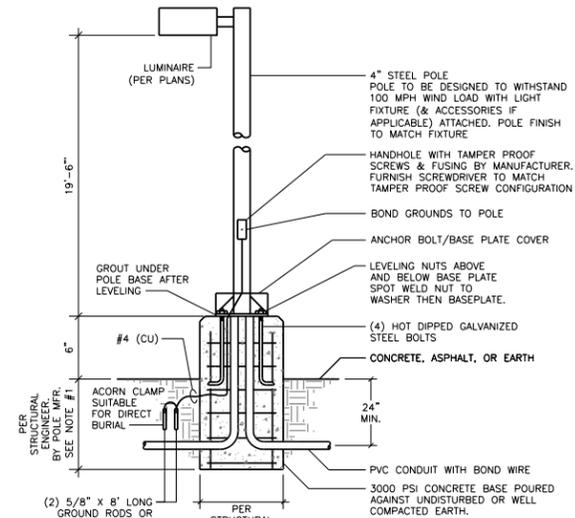
Sheet No.
A301

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 Drawing file: C:\0720-CFS\10\0720 arch\0720A301
 Last Saved: 4-11-08 03:26pm

Reduced size: Not to scale



ELECTRICAL SITE PLAN
SCALE: 1" = 30'-0"



NOTE:
1. POLE MANUFACTURER SHALL PROVIDE STRUCTURAL CALCULATIONS FOR POLE BASE. CALCULATIONS SHALL BE SEALED & SIGNED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF ARIZONA & INCLUDED IN SHOP DRAWINGS.

TYPICAL POLE & POLE BASE DETAIL
SCALE: N.T.S.

PLAN MARK	PARALLEL SETS	FEEDER & GROUND	CONDUIT SIZE
A1	1	2#12 & 1#12GRD	3/4"
A2	1	3#12 & 1#12GRD	3/4"
A3	1	4#12 & 1#12GRD	3/4"
B1	1	2#10 & 1#10GRD	3/4"
B2	1	3#10 & 1#10GRD	3/4"
B3	1	4#10 & 1#10GRD	3/4"
C1	1	2#8 & 1#10GRD	3/4"
C2	1	3#8 & 1#10GRD	3/4"
C3	1	4#8 & 1#10GRD	3/4"
D1	1	2#6 & 1#10GRD	3/4"
D2	1	3#6 & 1#10GRD	3/4"
D3	1	4#6 & 1#10GRD	1"

- NOTES**
- KEYED NOTES:**
- SRP PRIMARY DUCT BANK. VERIFY REQUIREMENTS WITH SRP PRIOR TO TRENCHING. SEE ONE-LINE DIAGRAM.
 - SRP PAD MOUNT TRANSFORMER. PROVIDE PAD PER SRP REQUIREMENTS.
 - SECONDARY DUCT BANK. VERIFY REQUIREMENTS WITH SRP PRIOR TO TRENCHING. SEE ONE-LINE DIAGRAM FOR ADDITIONAL INFORMATION.
 - NEW BUILDING ELECTRICAL SERVICE (SES). SEE ONE-LINE DIAGRAM FOR ADDITIONAL INFORMATION. PROVIDE RAISED CONCRETE SLAB 3" ON SIDES AND 36" MINIMUM IN FRONT OF BOARD. VERIFY LOCATION AND REQUIREMENTS WITH GEAR SUPPLIER AND ARCHITECT.
 - TELECOM CABLE DUCT BANK. PROVIDE (1 1/4" AND (1/2" CONDUITS (2 SPARE) TO NEW TELEPHONE TERMINAL BOARD. VERIFY REQUIREMENTS WITH TELECOM CABLE COMPANIES PRIOR TO TRENCHING.
 - DISPATCH ROOM. PROVIDE 4 X 8' X 3 1/4" A-C GRADE FIRE TREATED PLYWOOD TELEPHONE MOUNTING BOARD (TMB) WITH DEDICATED QUADPLEX RECEPTACLES AS SHOWN. PROVIDE #6 GROUND TO TMB PER NEC 800-40. PAINT TMB TO MATCH ADJACENT FINISH. PAINT AROUND FIRE RATING LABEL. COORDINATE MOUNTING WITH ARCHITECT. SEE POWER PLAN E301 FOR DETAILS OF THIS ROOM.
 - NEW EMERGENCY GENERATOR. PROVIDE CONCRETE HOUSEKEEPING PAD PER MANUFACTURER'S REQUIREMENTS. SEE ONE-LINE DIAGRAM FOR ADDITIONAL INFORMATION.
 - WP JUNCTION BOX FOR CONNECTION OF GENERATOR BLOCK HEATER AND BATTERY CHARGER. VERIFY EXACT LOCATION AND REQUIREMENTS WITH GENERATOR SUPPLIER PRIOR TO ROUGH-IN.
 - LIGHT POLE MOUNTED. CORD IN PLACE. WP GFI RECEPTACLE. VERIFY MOUNTING HEIGHT PRIOR TO ROUGH-IN.
 - (2) 1-1/4" THREADED RIGID CONDUIT FROM TMB TO WEATHERHEAD. EXTENDED 4'-0" ABOVE ROOF. BEND RADIUS SHALL BE A MINIMUM 10 TIMES CONDUIT INTERNAL DIAMETER. SUPPORT RIGIDLY BELOW ROOF AND TO ADJACENT WALL. VERIFY LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.
 - FLUSH MOUNTED WP JUNCTION BOXES FOR LANDSCAPE LIGHTING AND IRRIGATION CONTROLLERS. VERIFY REQUIREMENTS AND LOCATIONS PRIOR TO ROUGH-IN.
 - ELECTRICAL PANELS. SEE POWER PLAN E301 FOR DETAILS OF THIS ROOM.
 - NEW TRANSFER SWITCH. SEE ONE-LINE DIAGRAM FOR ADDITIONAL INFORMATION.

- KEYED NOTES:**
- ABOVE GROUND DIESEL FUEL TANK.
 - FUEL DISPENSER.
 - LEAK DETECTOR.
 - CLASS 1, DIVISION 1 LOCATION. BELOW GRADE AND CLASS 1, DIVISION 2 LOCATION UP TO 18" AFG WITHIN 20' HORIZONTALLY OF ANY EDGE OF ENCLOSURE.
 - 1" PVC COATED RGS WITH THREADED COUPLINGS FROM LEAK DETECTOR TO CONTROL AND MONITOR LOCATIONS IN TELE/ELEC RM. VERIFY LOCATION.
 - (3) 1-1/2" EMPTY CONDUIT STUB-UPS WITH PULLCORD FROM PANEL ELP2 INTO EDGE OF FUEL DISPENSING AREA. PROVIDE SEAL AND CAPS FOR FUTURE.
 - PROVIDE EMERGENCY SHUT-OFF SWITCH AND RESET BUTTON, RED MUSHROOM TYPE, WITH SIGN "EMERGENCY FUEL SHUT-OFF". LOCATE SWITCH ON WALL AT 42" AFG WITHIN 75" OF FUEL DISPENSER. VERIFY LOCATION WITH FIRE MARSHAL PRIOR TO ROUGH-IN. SWITCH TO SHUNT TRIP ALL FUEL SYSTEM POWER CIRCUITS. SEE RISER DIAGRAM.
 - ELECTRICAL CONTRACTOR TO CONNECT ALL FUEL SYSTEM CONTROLS AND MONITOR AS DIRECTED BY FUEL SYSTEM SUPPLIER/INSTALLER. VERIFY PRIOR TO ROUGH-IN.
 - WP JUNCTION BOX FOR COMPLETE CONNECTION OF ABOVE GROUND DIESEL FUEL TANK AND DISPENSER. VERIFY LOCATION AND REQUIREMENTS PRIOR TO ROUGH-IN.
 - WP JUNCTION BOX FLUSH IN FINISH GRADE WITH (2) 1" CONDUITS TO TMB FOR FUTURE EXTENSION AND CONNECTION TO FUTURE GATE OPERATOR AND CONTROLS BY OWNER. PROVIDE #10, 1#10 GROUND IN 3/4" CONDUIT FOR POWER CIRCUIT TO BOX AS INDICATED. WING NUT AND TAPE OFF FEEDERS.
 - STUB UP AND CAP (1) 1.5" CONDUIT WITH PULL CORD TO DATA CLOSET ROOM 115 FOR VOICE/DATA CABLES.

- GENERAL NOTES:**
- ALL SITE LIGHTING CIRCUITS SHALL BE MINIMUM #8 CONDUCTORS WITH #8 GREEN GROUND IN 1" CONDUIT. ALL OTHER EXTERIOR CIRCUITS SHALL BE MINIMUM #10 CONDUCTORS WITH #10 GREEN GROUND IN 3/4" CONDUIT.
 - OWNER RETAINS FIRST RIGHT OF REFUSAL FOR ALL ELECTRICAL EQUIPMENT REMOVED UNDER DEMOLITION PHASE OF WORK.
 - ALL CONDUITS STUBBED UP OR PASSING THROUGH HAZARDOUS AREA TO BE THREADED RGS AND HAVE SEAL OFFS AT BOTH ENDS OF RUN. CONDUITS TO BE EITHER PIPE PRIMERED AND HALF LAPPED TAPE WRAPPED WITH (3M SCOTCHRAP 51 OR EQUAL) OR PVC COATED. ALL WIRING SHALL COMPLY WITH NEC ARTICLE 511.

GILBERT
ARIZONA

TOWN OF GILBERT
FIRE STATION NO. 10
280 W. Guadalupe Rd
GILBERT, ARIZONA 85234

Preliminary
Not for
Construction

Job No.	0720
Drawn	RE
Checked	LLW
Date	JULY 2008
Revised	

95% SET

HDA ARCHITECTS, LLC.
459 N. Gilbert Road, Suite C-200, GILBERT, AZ 85234
TEL: (480) 539 8800 FAX: (480) 539 8608

HDA ARCHITECTS, LLC.
DESIGN REVIEW RISE PLAN
SHIFT BUILDING 12 FEET EAST

Sheet No.
E101

HEIDEMAN ASSOCIATES, INC.
A Zak Company
Consulting Engineers

4970 East Beverly Road
Phoenix, Arizona 85044

602.225.0106
f 602.225.0180
www.zakcompanies.com

Job No. 08258

File:K:\08258 - Gilbert Fire Station N101\Electrical\08258 E101.DWG
Date Printed: Jul 14, 2008 - 7:51:17AM Printed By: mtesmeir

FIESTA RANCH COMMERCE PARK

LOTS 14 AND 18 AMENDED

REPLAT

OF LOTS 14, 15, 16, 17, AND 18 OF FIESTA RANCH COMMERCE PARK
ACCORDING TO THE PLAT OF RECORDS IN THE OFFICE
OF THE COUNTY RECORDER OF MARICOPA COUNTY,
ARIZONA, RECORDED IN BOOK 542 OF MAPS, PAGE 29

DEDICATION

STATE OF ARIZONA }
COUNTY OF MARICOPA }

KNOW ALL MEN BY THESE PRESENTS PHOENIX FIESTA RANCH INVESTORS LIMITED PARTNERSHIP AND THE TOWN OF GILBERT, AS OWNERS HEREBY PUBLISH THIS PLAT AS AND FOR LOTS 14 & 18 AMENDED, A REPLAT OF LOTS 14, 15, 16, 17 & 18 OF FIESTA RANCH COMMERCE PARK, A SUBDIVISION OF A PORTION OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 1 SOUTH, RANGE 3 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN PLATTED HEREIN, AND HEREBY DECLARES THAT SAID PLAT SETS FORTH THE LOCATIONS AND GIVES THE DIMENSIONS AND MEASUREMENTS OF THE LOTS AND STREETS CONSTITUTING SAME AND THAT EACH LOT AND STREET SHALL BE KNOWN BY THE NUMBER OR NAME GIVEN TO EACH RESPECTIVELY ON SAID PLAT AND HEREBY DEDICATES TO THE PUBLIC FOR USE THE STREETS AS SHOWN ON SAID PLAT CASEMENTS ARE DEDICATED FOR THE PURPOSES SHOWN.

IN WITNESS WHEREOF, A BRENT PAYNE, MEMBER OF STEEPLE ROCK INVESTMENTS, LLC, MEMBER OF PHOENIX FIESTA RANCH MANAGERS, LLC, GENERAL PARTNER OF PHOENIX FIESTA RANCH INVESTORS LIMITED PARTNERSHIP AND STEVEN M. BERMAN, MAYOR OF THE TOWN OF GILBERT, HERETOFORE CAUSE THEIR NAMES TO BE SIGNED.

DONE AT GILBERT, ARIZONA, THIS 2ND DAY OF OCTOBER, 2002
PHOENIX FIESTA RANCH INVESTORS LIMITED PARTNERSHIP, AN ARIZONA LIMITED PARTNERSHIP

BY: PHOENIX FIESTA RANCH MANAGERS, LLC, AN ARIZONA LIMITED LIABILITY COMPANY
ITS: GENERAL PARTNER

BY: STEEPLE ROCK INVESTMENTS, LLC, AN ARIZONA LIMITED LIABILITY COMPANY
ITS: MEMBER

BY: A BRENT PAYNE
ITS: MEMBER
A. Brent Payne 10-2-02
A BRENT PAYNE DATE

BY: TOWN OF GILBERT

BY: STEVEN M. BERMAN
MAYOR

STEVEN M. BERMAN

ACKNOWLEDGMENT

STATE OF ARIZONA }
COUNTY OF MARICOPA }

ON THIS THE 2nd DAY OF OCTOBER, 2002, BEFORE ME, THE UNDERSIGNED PERSONALLY APPEARED A BRENT PAYNE WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED BY SIGNING HIS NAME.

IN WITNESS WHEREOF, HERETOFORE SET FORTH MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES DEC 11, 2008
Stella Robert
Notary Public

ACKNOWLEDGMENT

STATE OF ARIZONA }
COUNTY OF MARICOPA }

ON THIS THE _____ DAY OF _____, 2002, BEFORE ME, THE UNDERSIGNED PERSONALLY APPEARED STEVEN M. BERMAN WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED BY SIGNING HIS NAME.

IN WITNESS WHEREOF, I HERETOFORE SET FORTH MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: _____
Notary Public

APPROVALS

APPROVED BY THE BOARD AND TOWN COUNCIL OF THE TOWN OF GILBERT ON THIS DAY OF NOV, 2002

MAYOR: *Steven M. Berman* 11-15-02
ATTEST, TOWN CLERK: *Cynthia A. Juppel* 11-15-02

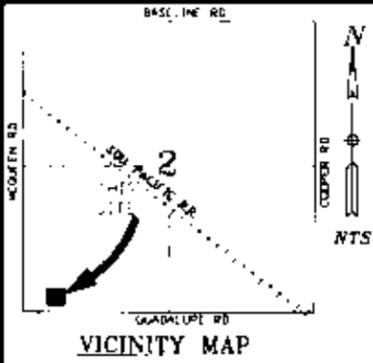
TOWN OF GILBERT ENGINEER: *Richard Allen* 4-16-03
TOWN OF GILBERT PLANNING DIRECTOR: *Janet Anderson* 4/16/03

ALLEN CONSULTING ENGINEERS, INC.

3000 N. THUNDERBIRD CIRCLE #132
MESA, ARIZONA 85215
PHONE (480) 844-1666
FAX (480) 830-8403
E-MAIL: ace@allenconsulting.com

FINAL PLAT OF LOTS 14 & 18 AMENDED
REPLAT OF LOTS 14, 15, 16, 17, AND 18
OF FIESTA RANCH COMMERCE PARK

JOB NUMBER: 92437
DRAWING: REPLAT
DRAFTSMAN: _____
CHECKED BY: _____
DATE: 04-02-02

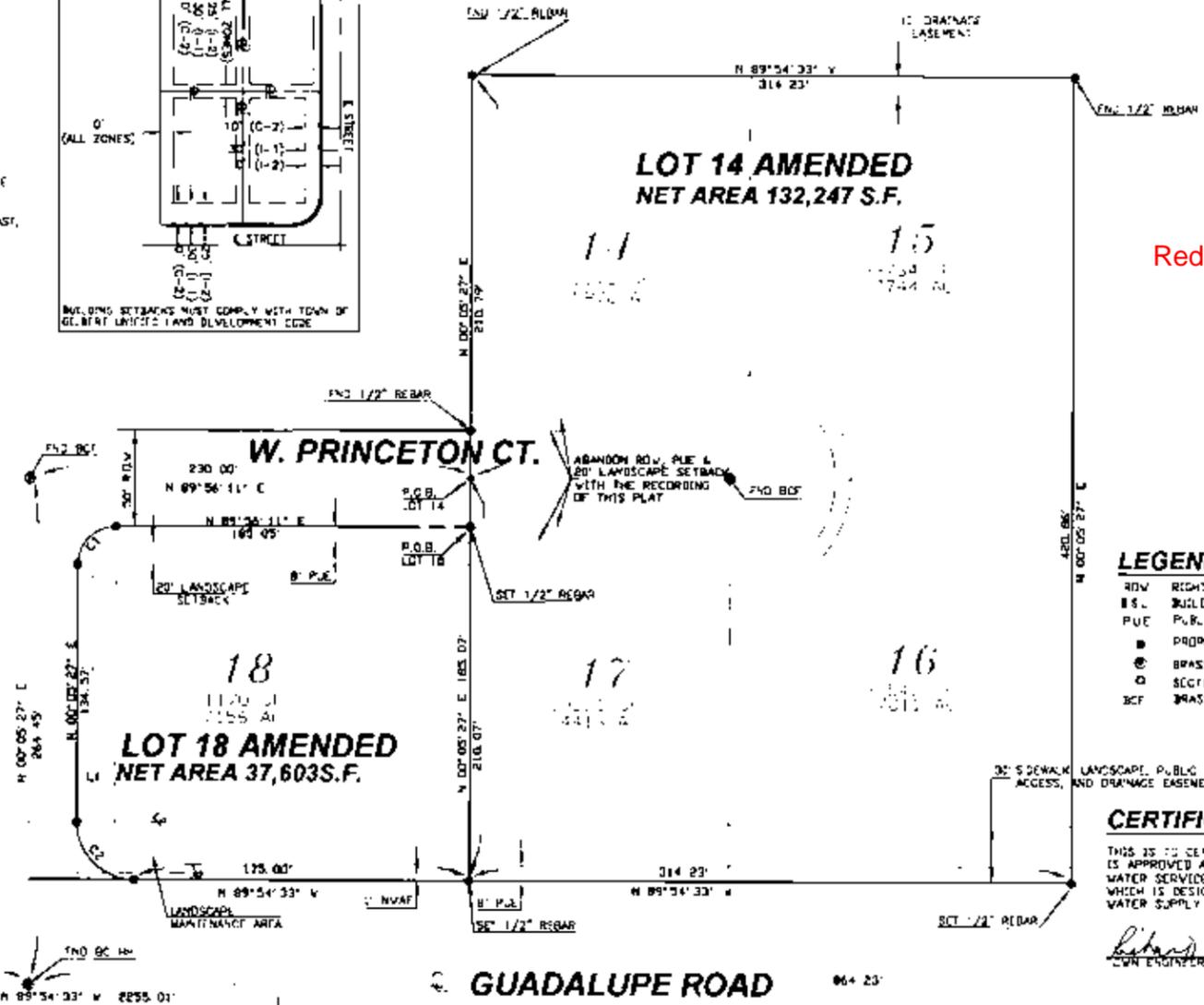
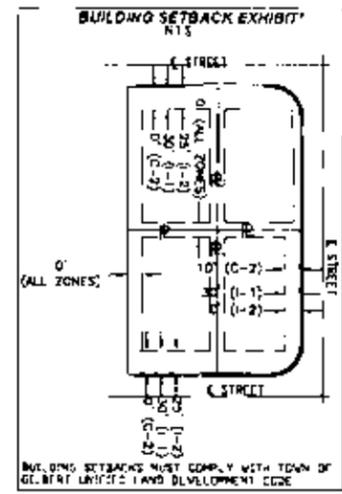


LINE TABLE

NO.	DIRECTION	DIST.
11	S 89°54'33" E	20.00
12	S 43°36'48" E	39.00
13	S 00°45'27" W	8.00

CURVE TABLE

NUMBER	DELTA ANGLE	TANGENT	RADIUS	ARC LENGTH
CL	189°50'44"	19.95	25.26	31.06
CP	195°00'00"	30.00	36.36	47.12



Reduced size: Not to scale

- #### LEGEND
- RDW RIGHT OF WAY
 - B.S.L. BUILDING SETBACK LINE
 - P.U.E. PUBLIC UTILITY EASEMENT
 - PROPERTY CORNERS
 - BRASS CAP
 - SECTION CORNER
 - BRASS CAP FOUND

CERTIFICATION:

THIS IS TO CERTIFY THE AREA PLATTED HEREON IS APPROVED AND LIES WITHIN THE DOMESTIC WATER SERVICE AREA OF THE TOWN OF GILBERT WHICH IS DESIGNATED AS HAVING AN ASSURED WATER SUPPLY IN ACCORDANCE WITH ARS 45-576

Richard Allen 4-16-03
ENGINEER DATE

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS PROJECT IS S 89°54'33" W FOR THE MONUMENT LINE ON GUADALUPE ROAD PER BOOK 542 OF MAPS PAGE 29

OWNER/DEVELOPER

BRENT PAYNE
PHOENIX FIESTA RANCH INVESTORS LP
670 EAST ENCINAS
GILBERT, ARIZONA 85234
PH: 480-633-8800



LEGAL DESCRIPTION LOT 18 AMENDED:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 1 SOUTH, RANGE 3 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 2, THENCE SOUTH 89°54'33" EAST, ALONG THE SOUTH LINE OF SAID SECTION 2, A DISTANCE OF 1390.78 FEET,
THENCE NORTH 00°05'27" EAST, 284.45 FEET,
THENCE NORTH 89°58'11" EAST, 230.00 FEET,
THENCE SOUTH 00°05'27" WEST 25.00 TO THE POINT OF BEGINNING,
THENCE SOUTH 00°05'27" WEST 189.07 FEET,
THENCE NORTH 89°54'33" WEST 175.00 FEET TO THE BEGINNING OF A 30.000' RADIUS TANGENT CURVE, CONCAVE TO THE NORTHEAST, THENCE NORTHWESTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 89°00'00" AND ARC DISTANCE OF 47.12 FEET,
THENCE TANGENT TO SAID CURVE, NORTH 00°05'27" EAST 134.57' TO THE BEGINNING OF A 20.00 FOOT RADIUS TANGENT CURVE, CONCAVE TO THE SOUTHEAST, THENCE NORTHEASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 89°50'44" AND ARC DISTANCE OF 31.06 FEET,
THENCE NORTH 89°58'11" EAST 189.06 FEET TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION LOT 14 AMENDED:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 1 SOUTH, RANGE 3 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 2, THENCE SOUTH 89°54'33" EAST, ALONG THE SOUTH LINE OF SAID SECTION 2, A DISTANCE OF 1390.78 FEET,
THENCE NORTH 00°05'27" EAST, 284.45 FEET,
THENCE NORTH 89°58'11" EAST, 230.00 FEET, TO THE POINT OF BEGINNING,
THENCE NORTH 00°05'27" EAST, 210.79 FEET,
THENCE SOUTH 89°54'33" EAST, 314.23 FEET,
THENCE SOUTH 00°05'27" WEST, 420.86 FEET,
THENCE NORTH 89°54'33" WEST, 314.23 FEET,
THENCE NORTH 00°05'27" EAST, 210.07 FEET TO THE POINT OF BEGINNING.

NO BRASS CAP IN HANDHOLE IN COR SEC 2
T-1-S, R-5-E

- #### NOTE:
- CONSTRUCTION WITHIN PUBLIC UTILITY EASEMENTS EXCEPT BY PUBLIC AGENCIES AND UTILITY COMPANIES SHALL BE LIMITED TO UTILITIES, AND WOOD, VINE OR REMOVED, SECTION TYPE FENCING, UNLESS APPROVED BY THE TOWN OF GILBERT.
 - ALL UTILITIES SHALL BE CONSTRUCTED UNDERGROUND.
 - ALL ELECTRIC AND COMMUNICATION LINES TO BE CONSTRUCTED UNDERGROUND AS REQUIRED BY THE ARIZONA CORPORATION COMMISSION.
 - THE TOWN OF GILBERT IS NOT RESPONSIBLE FOR AND WILL NOT ACCEPT MAINTENANCE OF ANY PRIVATE STREETS, PRIVATE UTILITIES, PRIVATE FACILITIES AND LANDSCAPED AREAS WITHIN THE PROJECT.
 - NO STRUCTURES SHALL BE CONSTRUCTED IN OR ACROSS, NOR SHALL OTHER IMPROVEMENTS OR ALTERATIONS BE MADE TO THE DRAINAGE FACILITIES THAT ARE A PART OF THIS DEVELOPMENT WITHOUT WRITTEN AUTHORIZATION OF THE TOWN OF GILBERT.

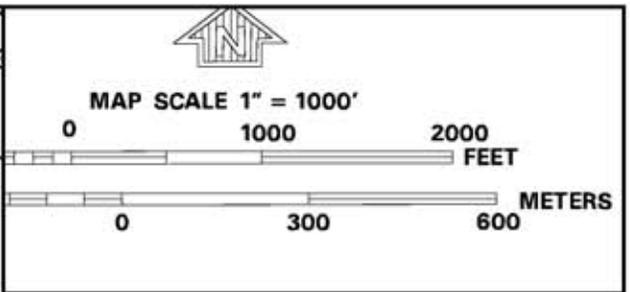
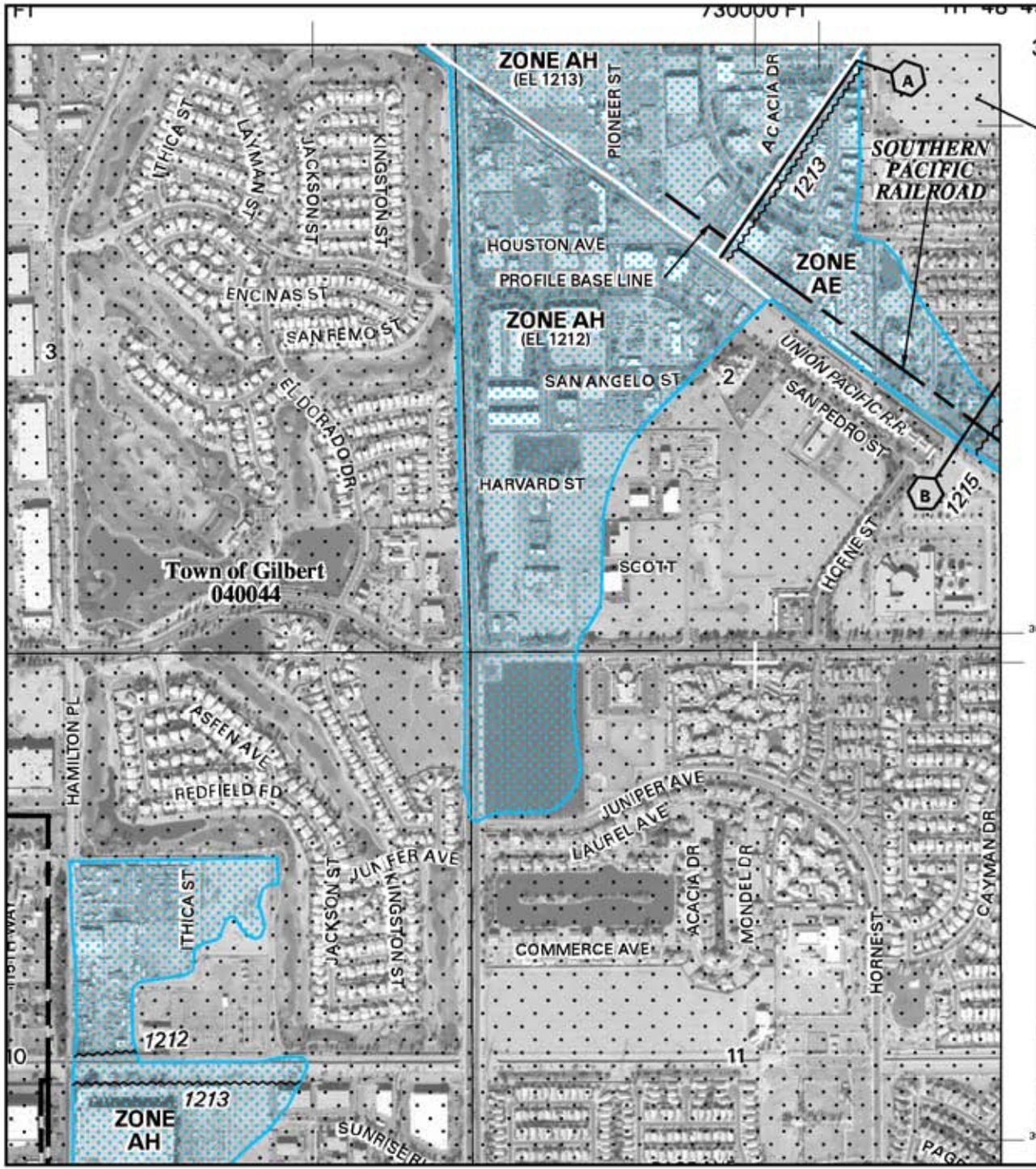
SITE DATA

NET AREA = 125001 SF
ZONING: _____
SETBACKS: SLL EXHIBIT

- ALL DRYWELLS SHOWN ON THE PROJECT SHALL BE MAINTAINED BY THE OWNERS AND ARE TO BE REPLACED BY THE OWNER WHEN THEY CEASE TO DRAIN THE SURFACE WATER ON A 26 HOUR PERIOD. REGULAR MAINTENANCE OF THE DRYWELL SILLING BASIN CHAMBER IS REQUIRED TO ACHIEVE THE BEST OPERATION OF THE DRYWELL.
- ALL RETENTION BASINS MUST DRAIN ANY STORM EVENT UP TO AND INCLUDING THE FIFTY-YEAR, TWENTY-FOUR-HOUR STORM WITHIN THIRTY-SIX (36) HOURS. OWNERS OF ANY BASIN FAILING TO MEET THIS REQUIREMENT MUST TAKE CORRECTIVE ACTION TO BRING THE BASIN IN TO COMPLIANCE.
- THE PROPERTY PLATTED HERETO IS SUBJECT TO AN ANNUAL STREET-LIGHT IMPROVEMENT DISTRICT ASSESSMENT.
- ALL TRACTS ARE TO BE MAINTAINED BY THE PROPERTY OWNERS OF FIESTA RANCH ASSOCIATION.
- A 64 REBAR 18" IN LENGTH WILL BE SET AT EACH PROPERTY CORNER.
- AN EXISTING ELECTRICAL FASTENING IS TO BE ABANDONED AND REROUTED. SRP HAS BEEN NOTIFIED THAT IT WILL BE ELIMINATED AND REROUTED.

631-29

APPENDIX C
Floodplain Map



NFP

PANEL 2655G

**FIRM
FLOOD INSURANCE RATE MAP
MARICOPA COUNTY,
ARIZONA
AND INCORPORATED AREAS**

PANEL 2655 OF 4350

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
CHANDLER, CITY OF	040040	2655	0
GILBERT, TOWN OF	040044	2655	0
MARICOPA COUNTY	040037	2655	0
MESA, CITY OF	040048	2655	0

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

**MAP NUMBER
04013C2655G
MAP REVISED
SEPTEMBER 30, 2005**

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

APPENDIX D
Summary of Federal Emergency Management Agency
Eight-step Planning Process for Floodplains and Wetlands



EcoPlan Associates, Inc.
Environmental Science & Resource Economics

Memorandum

Date: August 23, 2010
To: Donna M. Meyer, Federal Emergency Management Agency
Copy: Wes Kemp, Town of Gilbert Fire Department
From: Leslie J. Stafford
Gilbert Number: MF022
EcoPlan Number: 10-311
Project Name: Gilbert Fire Station No. 10
Regarding: Eight-step Planning Process Documentation

The Town of Gilbert has been awarded Federal Emergency Management Agency (FEMA) Grant No. EMW-2009-FC-02614 for the construction of proposed Fire Station No. 10 to meet service demand and to improve response times in the northwest part of the Town of Gilbert, Arizona. Fire Station No. 10 would be located at 1280 W. Guadalupe Road, Gilbert, Arizona, within the 500-year floodplain. A fire station is considered a “critical action” and, as such, cannot be sited within a 500-year floodplain if a practicable alternative is available. Pursuant to Executive Order 11988, FEMA’s Eight-step Planning Process for Floodplains and Wetlands has been undertaken. The results are summarized as follows.

STEP 1

Determine whether the Proposed Action is located in a wetland and/or the 100-year floodplain, or whether it has the potential to affect or be affected by a floodplain or wetland.

Project Analysis: The project area falls within FEMA Flood Insurance Rate Map (FIRM) 04013C2655G, Panel 2655 (FEMA 2005). The project area is designated as Zone X (“shaded”), defined as areas “of 0.2% annual chance of flood, areas of 1% annual chance of flood with average depths of less than 1 foot or with drainage areas less than 1 square mile, and areas protected by levees from 1% annual chance flood.” Because Fire Station No. 10 would be sited in a 500-year floodplain and fire stations are considered critical actions pursuant to FEMA regulations 44 Code of Federal Regulations Part 9, Floodplain Management and Protection of Wetlands, the Town of Gilbert initiated FEMA’s eight-step process.

A site visit was conducted on March 22, 2010, by a biologist qualified to assess the occurrence of wetlands and other Waters of the United States. No hydrophytic vegetation or field indicators of wetland hydrology were observed on-site.

STEP 2

Notify public at earliest possible time of the intent to carry out an action in a floodplain or wetland, and involve the affected and interested public in the decision-making process.

Project Analysis: The Town of Gilbert, the project applicant, placed a public notice in a local newspaper with general distribution notifying the public of the town's plans to construct Fire Station No. 10 within the 500-year floodplain. The notice was published on August 20 and 21, 2010, in *The Arizona Republic* (notice attached). To date, no responses were received from the public.

Following FEMA approval of the Draft Environmental Assessment (EA), the Town of Gilbert will notify the public of the availability of the Draft EA and the final results of the 8-step process through a public notice in a local newspaper of general distribution. An electronic copy of the Draft EA will be posted on the town's website, and hard copies will be available for review at Town Hall. Public comment on the Draft EA will be accepted for 15 days after the date of publication of the public notice.

STEP 3

Identify and evaluate practicable alternatives to locating the Proposed Action in a floodplain or wetland.

Project Analysis: Alternatives to the Proposed Action are confined by the need to locate the fire station centrally in the service area, on lands available to the Town of Gilbert and zoned for this purpose, and to provide direct access to a major arterial roadway. Over the past 15 years, the Town of Gilbert has undertaken a long-term infrastructure planning process. This planning process resulted in a Capital Improvements Plan (CIP) that outlined the necessity, location, timing, and funding for all municipal capital projects. The CIP is updated annually to accurately reflect project requirements and status. During the planning process, fire station locations were determined by applying the response area system recommended by the Insurance Services Office (ISO). Based on those early applications of the ISO system, Gilbert identified approximate locations for future fire stations, which were later verified using Geographic Information System technology to ensure that locations were based on growth patterns of the town. Based on these planning considerations, the parcel at 1280 W. Guadalupe Road was purchased for construction of Fire Station No. 10.

The proposed site for Fire Station No. 10 is centrally located within the service area; has direct access to Guadalupe Road, a major arterial through the Town of Gilbert; and is on land owned by the Town of Gilbert and planned specifically for this purpose. Therefore, no alternative sites were considered.

Avoidance of the 500-year floodplain was not practicable for the siting of this fire station because Zone X covers the entire area of identified need, the entire jurisdiction of the town of

Gilbert, and all of Maricopa County. In summary, there is no alternative location that would be outside of the 500-year floodplain as shown on the current FEMA FIRM map.

STEP 4

Identify the full range of potential direct or indirect impacts associated with the occupancy or modification of floodplains and wetlands, and the potential direct and indirect support of floodplain and wetland development that could result from the Proposed Action.

Project Analysis: FEMA confirmed that completion of a hydrology and hydraulics analysis will not be required for Fire Station No. 10.

Though the project would not directly or indirectly support floodplain development (the site is in an urbanized area), the proposed fire station would improve emergency response times for populations already residing in the floodplain.

The project area is an undeveloped, previously graded lot. It retains little of the natural and beneficial values of a floodplain. Floral and faunal communities have been altered by previous development of the site and urbanization of the surrounding areas. Construction of the fire station would result in the permanent modification and development of 3 acres of open area, which would result in the removal of predominantly non-native and weedy grasses and forbs. Affected fauna would be limited and would be primarily non-native species adapted to urbanized settings. Because no wetlands exist on the proposed site, the project would not result in the conversion of wetlands to upland.

STEP 5

Minimize the potential adverse impacts from work within floodplains and wetlands (identified under Step 4), restore and preserve the natural and beneficial values served by wetlands.

Project Analysis: No adverse impacts to the 500-year floodplain or to wetlands would be anticipated with construction of Fire Station No. 10 (refer to Step 4 Project Analysis); therefore, no mitigation is proposed.

STEP 6

Reevaluate the Proposed Action to determine (1) if it is still practicable in light of its exposure to flood hazards, (2) the extent to which it will aggravate the hazards to others, and (3) its potential to disrupt floodplain and wetland values.

Project Analysis: Reevaluation of the Proposed Action is not needed for the reasons described under Steps 1, 2, 3, and 4. The proposed site remains practicable for Fire Station No. 10.

STEP 7

If the agency decides to take an action in a floodplain or wetland, prepare and provide the public with a finding and explanation of any final decision that the floodplain or wetland is the only practicable alternative. The explanation should include any relevant factors considered in the decision-making process.

Project Analysis: The entire service area for proposed Fire Station No 10 is within Zone X (shaded) designation, defined as areas “of 0.2% annual chance of flood, areas of 1% annual chance of flood with average depths of less than 1 foot or with drainage areas less than 1 square mile, and areas protected by levees from 1% annual chance flood”; therefore, no practicable alternatives exist outside of the 500-year floodplain. A notice will be published in a general distribution newspaper describing the results of the Eight-step Planning Process for Floodplains and Wetlands undertaken for Fire Station No. 10 and announcing FEMA’s final decision. This notification will be combined with the public notice of availability of the Draft EA.

STEP 8

Review the implementation and post-implementation phases of the Proposed Action to ensure that the requirements of the Executive Orders are fully implemented. Oversight responsibility shall be integrated into existing processes.

Project Analysis: This step is integrated into the National Environmental Policy Act process and FEMA project management and oversight functions.

Reference

FEMA. 2005. Flood Insurance Rate Map 04013C2655G, Panel 2655, revised September 30, 2005. <http://map1.msc.fema.gov/idms/IntraView.cgi?KEY=8454979&IFIT=1>.

Attachment

Public notice published in *The Arizona Republic* on August 20 and 21, 2010.

PUBLIC NOTICE Town of Gilbert Fire Department; Grant Number EMW-2009-FC-02614. The U.S. Department of Homeland Security's Federal Emergency Management Agency (FEMA) proposes to provide Federal financial assistance to the Town of Gilbert using the Assistance to Firefighters Grant Program authorized through the American Recovery and Reinvestment Act of 2009 to construct a new 10,500-square-foot, four-bay fire station at 1280 West Guadalupe Road, Gilbert, Maricopa County, Arizona. The resident population in the Town of Gilbert has increased nearly 30 percent over 4 years, resulting in increased service demands at existing fire stations; therefore, the proposed fire station would fulfill a critical fire protection need. The proposed fire station would not be built within or affect wetlands or other potential Waters of the U.S. The proposed fire station is considered a critical action facility pursuant to Executive Order 11988 and proposed to be located in an area designated Zone X (shaded)-the 500-year floodplain. The property is located within Maricopa County Flood Insurance Rate Map 04013C2655G, Community Panel 2655, revised May 13, 2010. The proposed site is centrally located within the service area and allows direct access to Guadalupe Road, a major arterial through the Town of Gilbert. The proposed fire station would meet National Fire Protection Association standards with a 4-minute response time to approximately 90 percent of the service area and a response time of 6 minutes or less to 100 percent of the service area. The entire service area of the proposed fire station falls within the 500-year floodplain; therefore, no practicable alternative sites are available that would avoid building in the floodplain. For more information and a map showing the location of the proposed fire station, contact Assistant Fire Chief, Wes Kemp at 480-503-6334. Please provide comments on this proposed action by contacting: Donna M. Meyer, Deputy Regional Environmental Officer, FEMA, 1111 Broadway, Suite 1200, Oakland, California 94607 or by e-mail to fema-rix-ehp-documents@dhs.gov. All comments should be received no later than September 7, 2010. **Publish Dates:** 8/20/2010 -8/21/2010

APPENDIX E
Agency Correspondence



FEMA

February 5, 2010

Ms. Diane Enos, President
Salt River Pima-Maricopa Indian Community
10005 E. Osborn
Scottsdale, AZ 85256

Re: EMW-2009-FC-03256 – Town of Buckeye Fire Department
EMW-2009-FC-02614 – Gilbert Fire Department
EMW-2009-FC-00917(1) – City of Mesa Fire Department
EMW-2009-FC-00917(2) – City of Mesa Fire Department

Dear President Enos:

Section 101(d)(6)(B) of the National Historic Preservation Act of 1966 as amended requires the Department of Homeland Security – Federal Emergency Management Agency (FEMA) to consult with any Indian Tribe that may attach religious and cultural significance to historic properties that may be affected by FEMA's undertaking. FEMA is considering four America Recovery and Reinvestment Act (ARRA) grant applications to the Grantees listed above. All four of the ARRA proposals would be Assistance to Firefighter grants for the construction of new fire stations located throughout Maricopa County. The specific locations are identified below:

Town of Buckeye Fire Department – 2582 North Verrado Way, Buckeye. (T2N, R2W, Sec 31)(33° 28' 31"N, -112° 30' 12"W);

Gilbert Fire Department – 1280 West Guadalupe Road, Gilbert. (T1S, R15E)(33°21.8585'N, -111°49.0756'W);

City of Mesa Fire Department – 3361 South Signal Butte Road, Mesa (T1S,R7E, Sec 12)(33°21'13"N, -111°36'3"W);

Ms. Diane Enos, President
February 5, 2010
Page #2

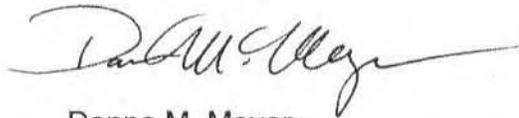
City of Mesa Fire Department – SW corner of South 58th Street and East Main Street, Mesa (T1N, R6E, Sec 23)(33°24'55"N, -111°42'10"W).

Each of the new fire stations would occupy between 1.3 and 3 acres in size. The new fire stations would fulfill a critical fire protection need due to increased service demand and would decrease current response times.

Because potential direct and indirect impacts of the Grantee's proposal may have an effect on historic properties we respectfully request your interest regarding the proposals, any comments regarding historic properties, advise us on the identification and evaluation of any historic properties, including those of traditional religious and cultural importance, articulate your views on the Grantees proposals and FEMA's undertaking on such historic properties, and to participate in the resolution of any adverse effects.

If you have any questions or require additional information please do not hesitate to contact me at (510) 627-7728, the letterhead address above or donna.meyer@dhs.gov.

Sincerely,



Donna M. Meyer
Deputy Environmental and Historic
Preservation Officer

Enclosure



FEMA

February 5, 2010

Mr. Wendsler Nosie, Chairperson
San Carlos Apache Tribe of the
San Carlos Reservation
P.O. Box 0
San Carlos, AZ 85550

Re: EMW-2009-FC-03256 – Town of Buckeye Fire Department
EMW-2009-FC-02614 – Gilbert Fire Department
EMW-2009-FC-00917(1) – City of Mesa Fire Department
EMW-2009-FC-00917(2) – City of Mesa Fire Department

Dear Chairperson Nosie:

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Mr. Wendsler Nosie, Chairperson
February 5, 2010
Page #2

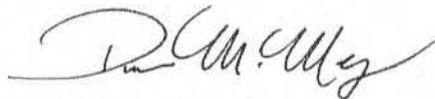
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Sincerely,



Donna M. Meyer
Deputy Environmental and Historic
Preservation Officer

Enclosure



FEMA

February 5, 2010

Mr. Ned Norris, Chairman
Tohono O'odham Nation of Arizona
P.O. Box 837
Sells, AZ 85634

Re: EMW-2009-FC-03256 – Town of Buckeye Fire Department
EMW-2009-FC-02614 – Gilbert Fire Department
EMW-2009-FC-00917(1) – City of Mesa Fire Department
EMW-2009-FC-00917(2) – City of Mesa Fire Department

Dear Chairman Norris:

Section 101(d)(6)(B) of the National Historic Preservation Act of 1966 as amended requires the Department of Homeland Security – Federal Emergency Management Agency (FEMA) to consult with any Indian Tribe that may attach religious and cultural significance to historic properties that may be affected by FEMA's undertaking. FEMA is considering four America Recovery and Reinvestment Act (ARRA) grant applications to the Grantees listed above. All four of the ARRA proposals would be Assistance to Firefighter grants for the construction of new fire stations located throughout Maricopa County. The specific locations are identified below:

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Mr. Ned Norris, Chairperson
February 5, 2010
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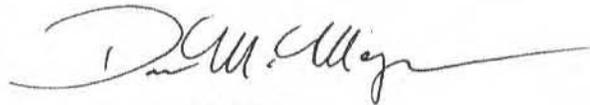
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If you have any questions or require additional information please do not hesitate to contact me at (510) 627-7728, the letterhead address above or donna.meyer@dhs.gov.

Sincerely,



Donna M. Meyer
Deputy Environmental and Historic
Preservation Officer

Enclosure



FEMA

February 5, 2010

Mr. Jamie Fullmer, Chairman
Yavapai-Apache Nation of the
Camp Verde Indian
2400 W. Datsi
Camp Verde, AZ 86322

Re: EMW-2009-FC-03256 – Town of Buckeye Fire Department
EMW-2009-FC-02614 – Gilbert Fire Department
EMW-2009-FC-00917(1) – City of Mesa Fire Department
EMW-2009-FC-00917(2) – City of Mesa Fire Department

Dear Chairman Fullmer:

Section 101(d)(6)(B) of the National Historic Preservation Act of 1966 as amended requires the Department of Homeland Security – Federal Emergency Management Agency (FEMA) to consult with any Indian Tribe that may attach religious and cultural significance to historic properties that may be affected by FEMA's undertaking. FEMA is considering four American Recovery and Reinvestment Act (ARRA) grant applications to the Grantees listed above. All four of the ARRA proposals would be Assistance to Firefighter grants for the construction of new fire stations located throughout Maricopa County. The specific locations are identified below:

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Mr. Jamie Fullmer, Chairman
February 5, 2010
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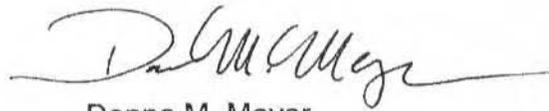
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Sincerely,



Donna M. Meyer
Deputy Environmental and Historic
Preservation Officer

Enclosure



FEMA

February 5, 2010

Mr. Ronnie Lupe, Chairman
White Mountain Apache Tribe of the Fort Apache
P.O. Box 700
Whiteriver, AZ 85941

Re: EMW-2009-FC-03256 – Town of Buckeye Fire Department
EMW-2009-FC-02614 – Gilbert Fire Department
EMW-2009-FC-00917(1) – City of Mesa Fire Department
EMW-2009-FC-00917(2) – City of Mesa Fire Department

Dear Chairman Lupe:

Section 101(d)(6)(B) of the National Historic Preservation Act of 1966 as amended requires the Department of Homeland Security – Federal Emergency Management Agency (FEMA) to consult with any Indian Tribe that may attach religious and cultural significance to historic properties that may be affected by FEMA's undertaking. FEMA is considering four America Recovery and Reinvestment Act (ARRA) grant applications to the Grantees listed above. All four of the ARRA proposals would be Assistance to Firefighter grants for the construction of new fire stations located throughout Maricopa County. The specific locations are identified below:

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Mr. Ronnie Lupe, Chairman
February 5, 2010
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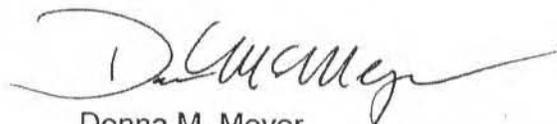
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Sincerely,



Donna M. Meyer
Deputy Environmental and Historic
Preservation Officer

Enclosure



FEMA

February 5, 2010

Mr. William Rhodes, Governor
Gila River Indian Community of the Gila River Indian
P.O. Box 97
Sacaton, AZ 85247

Re: EMW-2009-FC-03256 – Town of Buckeye Fire Department
EMW-2009-FC-02614 – Gilbert Fire Department
EMW-2009-FC-00917(1) – City of Mesa Fire Department
EMW-2009-FC-00917(2) – City of Mesa Fire Department

Dear Governor Rhodes:

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Mr. William Rhodes, Governor
February 5, 2010
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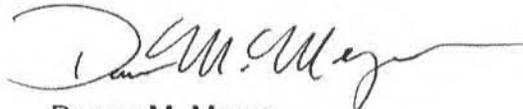
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Sincerely,



Donna M. Meyer
Deputy Environmental and Historic
Preservation Officer

Enclosure



FEMA

February 5, 2010

Mr. Raphael Bear, President
Fort McDowell Yavapai Nation
P.O. Box 17779
Fountain Hills, AZ 85268

Re: EMW-2009-FC-03256 – Town of Buckeye Fire Department
EMW-2009-FC-02614 – Gilbert Fire Department
EMW-2009-FC-00917(1) – City of Mesa Fire Department
EMW-2009-FC-00917(2) – City of Mesa Fire Department

Dear President Bear:

Section 101(d)(6)(B) of the National Historic Preservation Act of 1966 as amended requires the Department of Homeland Security – Federal Emergency Management Agency (FEMA) to consult with any Indian Tribe that may attach religious and cultural significance to historic properties that may be affected by FEMA's undertaking. FEMA is considering four American Recovery and Reinvestment Act (ARRA) grant applications to the Grantees listed above. All four of the ARRA proposals would be Assistance to Firefighter grants for the construction of new fire stations located throughout Maricopa County. The specific locations are identified below:

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Mr. Raphael Bear, President
February 5, 2010
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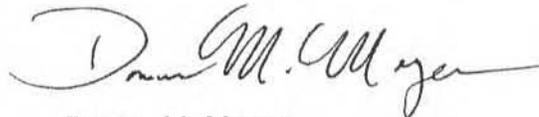
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If you have any questions or require additional information please do not hesitate to contact me at (510) 627-7728, the letterhead address above or donna.meyer@dhs.gov.

Sincerely,

A handwritten signature in black ink that reads "Donna M. Meyer". The signature is fluid and cursive, with the first name "Donna" being the most prominent.

Donna M. Meyer
Deputy Environmental and Historic
Preservation Officer

Enclosure



FEMA

February 5, 2010

Ms. Delia Carlyle, Chairperson
Ak Chin Indian Community of the Maricopa
42507 W. Peters & Nall Road
Maricopa, AZ 85239

Re: EMW-2009-FC-03256 – Town of Buckeye Fire Department
EMW-2009-FC-02614 – Gilbert Fire Department
EMW-2009-FC-00917(1) – City of Mesa Fire Department
EMW-2009-FC-00917(2) – City of Mesa Fire Department

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Ms. Delia Carlyle, Chairperson
February 5, 2010
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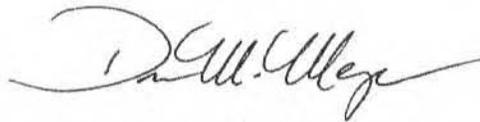
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Sincerely,



Donna M. Meyer
Deputy Environmental and Historic
Preservation Officer

Enclosure



Janice K. Brewer
Governor

ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY

1110 West Washington Street • Phoenix, Arizona 85007
(602) 771-2300 • www.azdeq.gov



Benjamin H. Cirumbles
Director

April 16, 2010

Mr. Ron van Ommeren
Senior Environmental Planner
EcoPlan Associates, Inc.
701 W. Southern Ave., Suite 203
Mesa, Arizona 85210

Project: Environmental Assessment for Construction of Fire Station No. 10
FEMA funded for Gilbert, Arizona

Dear Mr. Ommeren:

On April 13, 2010, the Air Quality Division of the Arizona Department of Environmental Quality received your National Environmental Policy Act (NEPA) Scoping Input request for the proposed construction of the fire station in Gilbert, Arizona.

Federally funded projects are subject to State Implementation Plan (SIP) and General Conformity requirements according to Clean Air Act Section 176(c)(1); 58 Federal Register 63214-63259; Title 40 Code of Federal Regulations (CFR) Part 51, Subpart W §§ 51.850-51.860; Title 40 CFR Part 93, Subpart B §§ 93.150-160; and Arizona Administrative Code R18-2-1438. The Air Quality Division is hereby responding as requested after reviewing the project's description and maps included with your letter.

The identified station construction project is located in the Carbon Monoxide Maintenance Area, as well as the Phoenix Metro PM₁₀ Nonattainment Area and the 8-hour Ozone Nonattainment Area. Therefore, during your environmental assessment we refer you to <http://www.azdeq.gov/environ/air/plan/notmeet.html#phoenix> for consideration.

To comply with applicable air pollution control requirements and minimize adverse impacts on public health and welfare, the following information is provided for your consideration:

REDUCE DISTURBANCE of PARTICULATE MATTER during CONSTRUCTION

The following measures are recommended to reduce disturbance of particulate matter, including emissions caused by strong winds as well as machinery and trucks tracking soil off the construction site:

Northern Regional Office
1801 W. Route 66 • Suite 117 • Flagstaff, AZ 86001
(928) 779-0313

Southern Regional Office
400 West Congress Street • Suite 433 • Tucson, AZ 85701
(520) 628-6733

Mr. Ron van Ommeren

April 16, 2010

Page 2

- I. Site Preparation and Construction
 - A. Minimize land disturbance;
 - B. Suppress dust on traveled paths which are not paved through wetting, use of watering trucks, chemical dust suppressants, or other reasonable precautions to prevent dust entering ambient air;
 - C. Cover trucks when hauling soil;
 - D. Minimize soil track-out by washing or cleaning truck wheels before leaving construction site;
 - E. Stabilize the surface of soil piles; and
 - F. Create windbreaks.

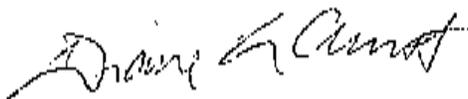
- II. Site Restoration
 - A. Revegetate any disturbed land not used;
 - B. Remove unused material; and
 - C. Remove soil piles via covered trucks.

The following rules applicable to reducing dust during construction, demolition and earth moving activities are enclosed:

- Arizona Administrative Code R18-2-604 through -607
- Arizona Administrative Code R18-2-804

Should you have further questions, please do not hesitate to call A. "Bonnie" Cockrell at (602) 771-2378 or Dave Biddle at (602) 771-2376 of the Planning Section Staff.

Very truly yours,



Diane L. Arnst, Manager
Air Quality Planning Section

Enclosure

cc: Bret Parke, EV Administrative Counsel
A. "Bonnie" Cockrell, Environmental Program Specialist, Air Planning
File No. 234861



R18-2-604. Open Areas, Dry Washes, or Riverbeds

- A. No person shall cause, suffer, allow, or permit a building or its appurtenances, or a building or subdivision site, or a driveway, or a parking area, or a vacant lot or sales lot, or an urban or suburban open area to be constructed, used, altered, repaired, demolished, cleared, or leveled, or the earth to be moved or excavated, without taking reasonable precautions to limit excessive amounts of particulate matter from becoming airborne. Dust and other types of air contaminants shall be kept to a minimum by good modern practices such as using an approved dust suppressant or adhesive soil stabilizer, paving, covering, landscaping, continuous wetting, detouring, barring access, or other acceptable means.
- B. No person shall cause, suffer, allow, or permit a vacant lot, or an urban or suburban open area, to be driven over or used by motor vehicles, trucks, cars, cycles, bikes, or buggies, or by animals such as horses, without taking reasonable precautions to limit excessive amounts of particulates from becoming airborne. Dust shall be kept to a minimum by using an approved dust suppressant, or adhesive soil stabilizer, or by paving, or by barring access to the property, or by other acceptable means.
- C. No person shall operate a motor vehicle for recreational purposes in a dry wash, riverbed or open area in such a way as to cause or contribute to visible dust emissions which then cross property lines into a residential, recreational, institutional, educational, retail sales, hotel or business premises. For purposes of this subsection "motor vehicles" shall include, but not be limited to trucks, cars, cycles, bikes, buggies and 3-wheelers. Any person who violates the provisions of this subsection shall be subject to prosecution under A.R.S. § 49-463.

Historical Note

Adopted effective May 14, 1979 (Supp. 79-1). Former Section R9-3-604 renumbered without change as Section R18-2-604 (Supp. 87-3). Amended effective September 26, 1990 (Supp. 90-3). Former Section R18-2-604 renumbered to R18-2-804, new Section R18-2-604 renumbered from R18-2-404 and amended effective November 15, 1993 (Supp. 93-4).

R18-2-605. Roadways and Streets

- A. No person shall cause, suffer, allow or permit the use, repair, construction or reconstruction of a roadway or alley without taking reasonable precautions to prevent excessive amounts of particulate matter from becoming airborne. Dust and other particulates shall be kept to a minimum by employing temporary paving, dust suppressants, wetting down, detouring or by other reasonable means.
- B. No person shall cause, suffer, allow or permit transportation of materials likely to give rise to airborne dust without taking reasonable precautions, such as wetting, applying dust suppressants, or covering the load, to prevent particulate matter from becoming airborne. Earth or other material that is deposited by trucking or earth moving equipment shall be removed from paved streets by the person responsible for such deposits.

Historical Note

Adopted effective May 14, 1979 (Supp. 79-1). Former Section R9-3-605 renumbered without change as Section R18-2-605 (Supp. 87-3). Amended effective September 26, 1990 (Supp. 90-3). Former Section R18-2-605 renumbered to R18-2-805, new Section R18-2-605 renumbered from R18-2-405 effective November 15, 1993 (Supp. 93-4).

R18-2-606. Material Handling

No person shall cause, suffer, allow or permit crushing, screening, handling, transporting or conveying of materials or other operations likely to result in significant amounts of airborne dust without taking reasonable precautions, such as the use of spray bars, wetting agents, dust suppressants, covering the load, and hands to prevent excessive amounts of particulate matter from becoming airborne.

Historical Note

Section R18-2-606 renumbered from R18-2-406 effective November 15, 1993 (Supp. 93-4).

R18-2-607. Storage Piles

- A. No person shall cause, suffer, allow, or permit organic or inorganic dust producing material to be stacked, piled, or otherwise stored without taking reasonable precautions such as chemical stabilization, wetting, or covering to prevent excessive amounts of particulate matter from becoming airborne.
- B. Stacking and reclaiming machinery utilized at storage piles shall be operated at all times with a minimum fall of material and in such manner, or with the use of spray bars and wetting agents, as to prevent excessive amounts of particulate matter from becoming airborne.

Historical Note

Section R18-2-607 renumbered from R18-2-407 effective November 15, 1993 (Supp. 93-4).

R18-2-804. Roadway and Site Cleaning Machinery

- A. No person shall cause, allow or permit to be emitted into the atmosphere from any roadway and site cleaning machinery smoke or dust for any period greater than 10 consecutive seconds, the opacity of which exceeds 40%. Visible emissions when starting cold equipment shall be exempt from this requirement for the first 10 minutes.
- B. In addition to complying with subsection (A), no person shall cause, allow or permit the cleaning of any site, roadway, or alley without taking reasonable precautions to prevent particulate matter from becoming airborne. Reasonable precautions may include applying dust suppressants. Earth or other material shall be removed from paved streets onto which earth or other material has been transported by trucking or earth moving equipment, erosion by water or by other means.

Historical Note

Adopted effective February 26, 1988 (Supp. 88-1). Amended effective September 26, 1990 (Supp. 90-3). Amended effective February 3, 1993 (Supp. 93-1). Former Section R18-2-804 renumbered to Section R18-2-904, new Section R18-2-804 renumbered from R18-2-604 effective November 15, 1993 (Supp. 93-4).



Janice K. Brewer
Governor

ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY

1110 West Washington Street • Phoenix, Arizona 85007
(602) 771-2300 • www.azdeq.gov



Benjamin H. Grumbles
Director

April 27, 2010

Ron van Ommeren
Senior Environmental
EcoPlan Associates, Inc.
701 W. Southern Avenue, Suite 203
Mesa, AZ 85210

SENT VIA E-MAIL: rvanommeren@ecoplanaz.com

Re: Environmental Assessment for Town of Gilbert fire station

Thank you for the March 23, 2010 letter requesting comments on an environmental assessment for the Town of Gilbert to construct a fire station. The Arizona Department of Environmental Quality Water Quality Division (ADEQ) is responsible for ensuring the delivery of safe drinking water to customers of regulated public water systems under the Safe Drinking Water Act, permits for proposed discharges to surface waters of the United States under the federal Clean Water Act (CWA), permits under the state Aquifer Protection Program, and water quality certifications of certain federal licenses and permits. Based on the information provided, ADEQ has the following comments related to water quality.

Stormwater: Stormwater discharges associated with construction activities (clearing, grading, or excavating) that disturb one acre or more must obtain a general permit for coverage of stormwater discharges under the Arizona Pollutant Discharge Elimination System's (AZPDES) Construction General Permit. As part of permit coverage, a Stormwater Pollution Prevention Plan (SWPPP) must be prepared, and implemented during the course of construction. The SWPPP must comply with ADEQ's Construction General Permit's SWPPP requirements, and must identify such elements as the project scope, anticipated acreage of land disturbance, and the best management practices that would be implemented to reduce soil erosion, and contain or minimize the pollutants that might be released to waters of the U.S. In addition to preparing the SWPPP, the project proponent must file for permit coverage before construction. The Construction General Permit, SWPPP checklist, and associated forms are available on ADEQ's website at: <http://www.azdeq.gov/enviro/water/permits/stormwater.html#const>. For questions, please contact Chris Henninger in our Stormwater and General Permits Unit at (602) 771-4508 or by e-mail at cph@azdeq.gov.

CWA 401 Water Quality Certification: If project activities will occur inside the Ordinary High Water Mark of any water of the U.S., then a CWA section 404 permit (a.k.a. dredge and fill), issued by the U.S. Army Corps of Engineers, may be required. If a 404 permit (or any other federal permit) is required for the project, a state-issued CWA section 401 certification of the

Northern Regional Office
1801 W. Route 66 • Suite 117 • Flagstaff, AZ 86001
(928) 779-0313

Southern Regional Office
400 West Congress Street • Suite 433 • Tucson, AZ 85701
(520) 628-6733

permit may be required to ensure that the permitted activities will not result in a violation of Arizona's surface water quality standards. For questions, please contact Bob Scalamera at (602) 771-4502 or by e-mail at rs3@azdeq.gov. The CWA 401 application form can be downloaded from ADEQ's website at: <http://www.azdeq.gov/function/forms/appswater.html#dredge>.

We appreciate the opportunity to review and provide comments. If you need further information, please contact Wendy LeStarge of my staff at (602) 771-4836 or via e-mail at w11@azdeq.gov, or myself at (602) 771-4416 or via e-mail at lc1@azdeq.gov.

Sincerely,

A handwritten signature in blue ink, appearing to read "L. Taunt".

Linda Taunt, Deputy Director
Water Quality Division



SHPO-2010-0124 (76267)
FEMA

RECEIVED

JAN 19 2010

JM 1/22/10
RECEIVED STATE HISTORIC PRES.

January 13, 2010

Mr. James Garrison
State Historic Preservation Officer
1300 W. Washington Street
Phoenix, AZ 85007
Attention: Ms. Jo Anne Medley

Re: EMW-2009-FC-02614(1)
Gilbert Fire Department, Station #10

Dear Mr. Garrison:

The Department of Homeland Security Federal Emergency Management Agency (FEMA) is considering an application to provide financial assistance in support of the City of Gilbert Fire Department's (Grantee) proposal to construct a 10,500 square foot, 4-bay fire station at 1280 West Guadalupe Road Gilbert, Maricopa County (T1S, R15E). The Grantee's proposal would fulfill a critical fire protection need due to increased service demand and reduce the current response time. Station 10 would be one of nine stations providing service for 76 square miles with a total population of approximately 235,000 persons. FEMA's action of providing a grant supporting the Grantee's need meets the definition of an undertaking in accordance with 36 CFR Part 800.16(y) and therefore requires the completion of Section 106 review in accordance with the National Historic Preservation Act of 1966 (Title 16 United States Code Section 470f), as amended.

The site is part of a city-owned parcel that was purchased in 2002 and is part of Fiesta Ranch Commerce Park, Lot 14. Surrounding land uses include vacant land to the north; commercial and light industrial to the east; residential to the south and commercial/light industrial to the west. FEMA has identified an Area of Potential Effect (APE) as the building footprint, asphalt/concrete pavement area for a total area of 3 acres (420' x 315'). FEMA has determined that the Grantee's proposal and FEMA's subsequent undertaking will result in no historic properties affected pursuant to 36 CFR Part 800.4(d)(1).

Mr. James Garrison

January 13, 2010

Page 2

FEMA requests your concurrence on our finding and have enclosed documentation in accordance with 36 CFR Part 800.11(d). If you should require any additional information about FEMA's request, please do not hesitate to contact me at (510) 627-7728 or donna.meyer@dhs.gov.

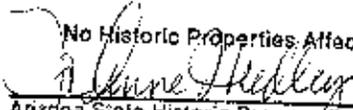
Concur

Sincerely,



Donna M. Meyer
Deputy Environmental and
Historic Preservation Officer

No Historic Properties Affected

for 
Arizona State Historic Preservation Officer
Arizona State Parks Board

Feb. 11, 2010

Enclosure



United States Department of the Interior

U.S. Fish and Wildlife Service

Arizona Ecological Services Field Office

2321 West Royal Palm Road, Suite 103

Phoenix, Arizona 85021-4951

Telephone: (602) 242-0210 Fax: (602) 242-2513



In Reply Refer to:

AESO/SE

22410-2010-TA-0250

22410-2010-CPA-0046

February 23, 2010



Ms. Donna M. Meyer

Deputy Regional Environmental Officer and Historic Preservation Officer

U.S. Department of Homeland Security

Federal Emergency Management Agency, Region IX

1111 Broadway, Suite 1200

Oakland, California 94607-4052

Dear Ms. Meyer:

Thank you for your correspondence of January 13, 2010, received by us on January 15, requesting our concurrence with your determination that the construction of a new fire station in the town of Gilbert, Maricopa County, will have no effect on threatened or endangered species in accordance with section 7 of the Endangered Species Act (ESA) of 1973, as amended (16 U.S.C. 1531 et. seq.). For future reference, please note that "no effect" determinations do not require concurrence from the U.S. Fish and Wildlife Service. However, this letter documents our review in accordance with section 7 of the ESA and the Fish and Wildlife Coordination Act (48 Stat. 401, as amended U.S. C. 661 et. seq.).

We have reviewed the project information provided with your letter. Based on the information provided, we believe no endangered or threatened species, critical habitat, or wetlands will be affected by the project; nor is the project likely to jeopardize the continued existence of proposed species or destroy or adversely modify proposed critical habitat, because no such species or habitats exist in the project area. No further review is required for this project at this time. Should the project site change or if additional information on the distribution of listed or proposed species becomes available, this determination may need to be reconsidered.

We encourage you to coordinate review of this project with the Arizona Game and Fish Department and the U.S. Army Corps of Engineers. Should you require further assistance or have any questions, please contact Mike Martinez (x224) or Debra Bills (x239).

Sincerely,

for Steven L. Spangle
Field Supervisor

cc: Chief, Habitat Branch, Arizona Game and Fish Department, Phoenix, AZ
Chief, Regulatory Branch, U.S. Army Corps of Engineers, Phoenix, AZ

W:\Mike Martinez\Section7\Gilbert_Fire_Dept.docx:egg

APPENDIX F
AGFD On-line Environmental Review Tool Receipt

Arizona's On-line Environmental Review Tool

Search ID: 20100322011702

Project Name: Town of Gilbert Fire Station

Date: 3/22/2010 10:08:58 AM

Project Location



The Department appreciates the opportunity to provide in-depth comments and project review when additional information or environmental documentation becomes available.

Special Status Species Occurrences/Critical Habitat/Tribal Lands within 3 miles of Project Vicinity:

Name	Common Name	FWS	USFS	BLM	State
Dendrocygna autumnalis	Black-bellied Whistling-Duck				WSC

Project Name: Town of Gilbert Fire Station

Submitted By: Ron van Ommeren

On behalf of: OTHER FEDERAL

Project Search ID: 20100322011702

Date: 3/22/2010 10:08:51 AM

Project Category: Development Within Municipalities (Urban Growth), Public & Community Facilities (school, library, church) and associated infrastructure, New construction

Project Coordinates (UTM Zone 12-NAD 83): 423800.985, 3692042.006 meter

Project Area: 3.450 acres

Project Perimeter: 474.233 meter

County: MARICOPA

USGS 7.5 Minute Quadrangle ID: 1349

Quadrangle Name: CHANDLER

Project locality is not anticipated to change

Location Accuracy Disclaimer

Project locations are assumed to be both precise and accurate for the purposes of environmental review. The creator/owner of the Project Review Receipt is solely responsible for the project location and thus the correctness of the Project Review Receipt content.

Arizona's On-line Environmental Review Tool

Search ID: 20100322011702

Project Name: Town of Gilbert Fire Station

Date: 3/22/2010 10:08:58 AM

Please review the entire receipt for project type recommendations and/or species or location information and retain a copy for future reference. If any of the information you provided did not accurately reflect this project, or if project plans change, another review should be conducted, as this determination may not be valid.

Arizona's On-line Environmental Review Tool:

1. This On-line Environmental Review Tool inquiry has generated recommendations regarding the potential impacts of your project on Special Status Species (SSS) and other wildlife of Arizona. SSS include all U.S. Fish and Wildlife Service federally listed, U.S. Bureau of Land Management sensitive, U.S. Forest Service sensitive, and Arizona Game and Fish Department (Department) recognized species of concern.
2. These recommendations have been made by the Department, under authority of Arizona Revised Statutes Title 5 (Amusements and Sports), 17 (Game and Fish), and 28 (Transportation). These recommendations are preliminary in scope, designed to provide early considerations for all species of wildlife, pertinent to the project type you entered.
3. This receipt, generated by the automated On-line Environmental Review Tool does not constitute an official project review by Department biologists and planners. Further coordination may be necessary as appropriate under the National Environmental Policy Act (NEPA) and/or the Endangered Species Act (ESA).

The U.S. Fish and Wildlife Service (USFWS) has regulatory authority over all federally listed species under the ESA. Contact USFWS Ecological Services Offices: <http://arizonaes.fws.gov/>.

Phoenix Main Office
2321 W. Royal Palm Road, Suite 103
Phoenix, AZ 85021
Phone 602-242-0210
Fax 602-242-2513

Tucson Sub-Office
201 North Bonita, Suite 141
Tucson, AZ 85745
Phone 520-670-6144
Fax 520-670-6154

Flagstaff Sub-Office
323 N. Leroux Street, Suite 101
Flagstaff, AZ 86001
Phone 928-226-0614
Fax 928-226-1099

Disclaimer:

1. This is a preliminary environmental screening tool. It is not a substitute for the potential knowledge gained by having a biologist conduct a field survey of the project area.
2. The Department's Heritage Data Management System (HDMS) data is not intended to include potential distribution of special status species. Arizona is large and diverse with plants, animals, and environmental conditions that are ever changing. Consequently, many areas may contain species that biologists do not know about or species previously noted in a particular area may no longer occur there.
3. Not all of Arizona has been surveyed for special status species, and surveys that have been conducted have varied greatly in scope and intensity. Such surveys may reveal previously undocumented population of species of special concern.
4. HDMS data contains information about species occurrences that have actually been reported to the Department.

Arizona Game and Fish Department Mission

To conserve, enhance, and restore Arizona's diverse wildlife resources and habitats through aggressive protection and

management programs, and to provide wildlife resources and safe watercraft and off-highway vehicle recreation for the enjoyment, appreciation, and use by present and future generations.

Project Category: Development Within Municipalities (Urban Growth), Public & Community Facilities (school, library, church) and associated infrastructure, New construction

Project Type Recommendations:

Based on the project type entered; coordination with Arizona Department of Environmental Quality may be required (<http://www.azdeq.gov/>).

Based on the project type entered; coordination with Arizona Department of Water Resources may be required (<http://www.water.az.gov/adwr/>)

Based on the project type entered; coordination with County Flood Control districts may be required.

Based on the project type entered; coordination with State Historic Preservation Office may be required <http://azstateparks.com/SHPO/index.html>

Based on the project type entered; coordination with U.S. Army Corps of Engineers may be required

(<http://www.spl.usace.army.mil/regulatory/phonedir.html>)

Communities can actively support the sustainability and mobility of wildlife by incorporating wildlife planning into their regional/comprehensive plans, their regional transportation plans, and their open space/conservation land system programs. An effective approach to wildlife planning begins with the identification of the wildlife resources in need of protection, an assessment of important habitat blocks and connective corridors, and the incorporation of these critical wildlife components into the community plans and programs. Community planners should identify open spaces and habitat blocks that can be maintained in their area, and the necessary connections between those blocks to be preserved or protected. Community planners should also work with State and local transportation planning entities, and planners from other communities, to foster coordination and cooperation in developing compatible development plans to ensure wildlife habitat connectivity. The Department's guidelines for incorporating wildlife considerations into community planning and developments can be found at <http://www.azgfd.gov/hgis/guidelines.aspx>.

Development plans should provide for open natural space for wildlife movement, while also minimizing the potential for wildlife-human interactions through design features. Please contact Project Evaluation Program for more information on living with urban wildlife.

During planning and construction, minimize potential introduction or spread of exotic invasive species. Invasive species can be plants, animals (exotic snails), and other organisms (e.g. microbes), which may cause alteration to ecological functions or compete with or prey upon native species and can cause social impacts (e.g. livestock forage reduction, increase wildfire risk). The terms noxious weed or invasive plants are often used interchangeably. Precautions should be taken to wash all equipment utilized in the project activities before and after project activities to reduce the spread of invasive species. Arizona has noxious weed regulations (Arizona Revised Statutes, Rules

Arizona's On-line Environmental Review Tool

Search ID: 20100322011702

Project Name: Town of Gilbert Fire Station

Date: 3/22/2010 10:08:58 AM

R3-4-244 and R3-4-245). See Arizona Department of Agriculture website for restricted plants <http://www.azda.gov/PSD/quarantine5.htm>. Additionally, the U.S. Department of Agriculture has information regarding pest and invasive plant control methods including: pesticide, herbicide, biological control agents, and mechanical control: <http://www.usda.gov/wps/portal/usdahome>. The Department regulates the importation, purchasing, and transportation of wildlife and fish (Restricted Live Wildlife), please refer to the hunting regulations for further information http://www.azgfd.gov/h_f/hunting_rules.shtml.

During the planning stages of your project, please consider the local or regional needs of wildlife in regards to movement, connectivity, and access to habitat needs. Loss of this permeability prevents wildlife from accessing resources, finding mates, reduces gene flow, prevents wildlife from re-colonizing areas where local extirpations may have occurred, and ultimately prevents wildlife from contributing to ecosystem functions, such as pollination, seed dispersal, control of prey numbers, and resistance to invasive species. In many cases, streams and washes provide natural movement corridors for wildlife and should be maintained in their natural state. Uplands also support a large diversity of species, and should be contained within important wildlife movement corridors. In addition, maintaining biodiversity and ecosystem functions can be facilitated through improving designs of structures, fences, roadways, and culverts to promote passage for a variety of wildlife.

Minimization and mitigation of impacts to wildlife and fish species due to changes in water quality, quantity, chemistry, temperature, and alteration to flow regimes (timing, magnitude, duration, and frequency of floods) should be evaluated. Minimize impacts to springs, in-stream flow, and consider irrigation improvements to decrease water use. If dredging is a project component, consider timing of the project in order to minimize impacts to spawning fish and other aquatic species (including spawning seasons), and to reduce spread of exotic invasive species. We recommend early direct coordination with Project

Evaluation Program for projects that could impact water resources, wetlands, streams, springs, and/or riparian habitats.

Planning: consider impacts of lighting intensity on mammals and birds and develop measures or alternatives that can be taken to increase human safety while minimizing potential impacts to wildlife. Conduct wildlife surveys to determine species within project area, and evaluate proposed activities based on species biology and natural history to determine if artificial lighting may disrupt behavior patterns or habitat use.

The Department recommends that wildlife surveys are conducted to determine if noise-sensitive species occur within the project area. Avoidance or minimization measures could include conducting project activities outside of breeding seasons.

Trenches should be covered or back-filled as soon as possible. Incorporate escape ramps in ditches or fencing along the perimeter to deter small mammals and herptefuna (snakes, lizards, tortoise) from entering ditches.

Recommendations Disclaimer:

1. Potential impacts to fish and wildlife resources may be minimized or avoided by the recommendations generated from information submitted for your proposed project.
2. These recommendations are proposed actions or guidelines to be considered during **preliminary project development**.
3. Additional site specific recommendations may be proposed during further NEPA/ESA analysis or through coordination with affected agencies.
4. Making this information directly available does not substitute for the Department's review of project proposals, and should not decrease our opportunity to review and evaluate additional project information and/or

Arizona's On-line Environmental Review Tool

Search ID: 20100322011702

Project Name: Town of Gilbert Fire Station

Date: 3/22/2010 10:08:58 AM

new project proposals.

5. The Department is interested in the conservation of all fish and wildlife resources, including those Special Status Species listed on this receipt, and those that may have not been documented within the project vicinity as well as other game and nongame wildlife.

6. Further coordination requires the submittal of this initialed and signed Environmental Review Receipt with a cover letter and project plans or documentation that includes project narrative, acreage to be impacted, how construction or project activity(s) are to be accomplished, and project locality information (including site map).

7. Upon receiving information by AZGFD, please allow 30 days for completion of project reviews. Mail requests to:

**Project Evaluation Program, Habitat Branch
Arizona Game and Fish Department
5000 West Carefree Highway
Phoenix, Arizona 85086-5000
Phone Number: (623) 236-7600
Fax Number: (623) 236-7366**

Terms of Use

By using this site, you acknowledge that you have read and understand the terms of use. Department staff may revise these terms periodically. If you continue to use our website after we post changes to these terms, it will mean that you accept such changes. If at any time you do not wish to accept the Terms, you may choose not to use the website.

1. This Environmental Review and project planning website was developed and intended for the purpose of screening projects for potential impacts on resources of special concern. By indicating your agreement to the terms of use for this website, you warrant that you will not use this website for any other purpose.
2. Unauthorized attempts to upload information or change information

on this website are strictly prohibited and may be punishable under the Computer Fraud and Abuse Act of 1986 and/or the National Information Infrastructure Protection Act .

3. The Department reserves the right at any time, without notice, to enhance, modify, alter, or suspend the website and to terminate or restrict your access to the website.

4. This Environmental Review is based on the project study area that was entered. The review must be redone if the project study area, location, or the type of project changes. If additional information becomes available, this review may need to be reconsidered.

5. A signed and initialed copy of the Environmental Review Receipt indicates that the entire receipt has been read by the signer of the Environmental Review Receipt.

Security:

The Environmental Review and project planning web application operates on a complex State computer system. This system is monitored to ensure proper operation, to verify the functioning of applicable security features, and for other like purposes. Anyone using this system expressly consents to such monitoring and is advised that if such monitoring reveals possible evidence of criminal activity, system personnel may provide the evidence of such monitoring to law enforcement officials. Unauthorized attempts to upload or change information; to defeat or circumvent security measures; or to utilize this system for other than its intended purposes are prohibited.

This website maintains a record of each environmental review search result as well as all contact information. This information is maintained for internal tracking purposes. Information collected in this application will not be shared outside of the purposes of the Department.

If the Environmental Review Receipt and supporting material are not mailed to the Department or other appropriate agencies within six (6) months of the Project Review Receipt date, the receipt is considered to be null and void, and a new review must be initiated.

Arizona's On-line Environmental Review Tool

Search ID: 20100322011702

Project Name: Town of Gilbert Fire Station

Date: 3/22/2010 10:08:58 AM

Print this Environmental Review Receipt using your Internet browser's print function and keep it for your records. Signature of this receipt indicates the signer has read and understands the information provided.

Signature: _____

Date: _____

Proposed Date of Implementation: _____

Please provide point of contact information regarding this Environmental Review.

Application or organization responsible for project implementation

Agency/organization: _____

Contact Name: _____

Address: _____

City, State, Zip: _____

Phone: _____

E-mail: _____

Person Conducting Search (if not applicant)

Agency/organization: _____

Contact Name: _____

Address: _____

City, State, Zip: _____

Phone: _____

E-mail: _____

APPENDIX G
Cultural Resources Survey Report



GILBERT

Prepared by:
Jill Heilman

Prepared for:
Town of Gilbert

Submitted by:
J. Simon Bruder

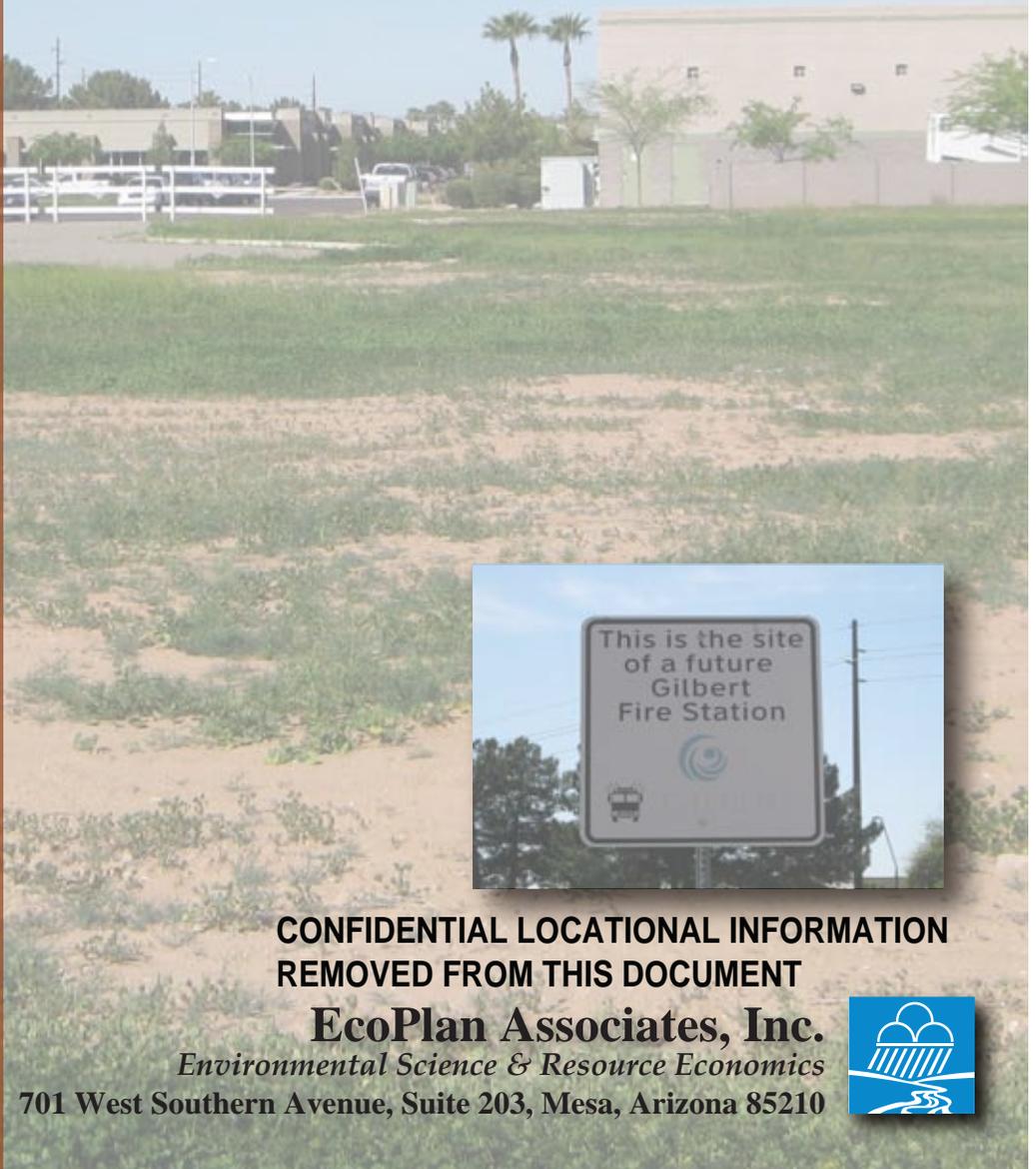
Gilbert CIP No:
MF022

ASM Accession No:
2010-0163

EcoPlan Project No:
10-311

May 2010

Cultural Resource Survey for a Proposed Fire Station on the North Side of Guadalupe Road between McQueen and Cooper Roads in the Town of Gilbert, Maricopa County, Arizona



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EcoPlan Associates, Inc.

Environmental Science & Resource Economics

701 West Southern Avenue, Suite 203, Mesa, Arizona 85210



**Cultural Resource Survey for a Proposed Fire Station on the
North Side of Guadalupe Road between McQueen and Cooper
Roads in the Town of Gilbert, Maricopa County, Arizona**

**Arizona State Museum Accession No. 2010-0163
EcoPlan Associates, Inc. Project No. 10-311
Gilbert CIP No. MF022
FEMA Project No. EMW-2009-FC-02614**

Prepared for:
Town of Gilbert

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EcoPlan Cultural Resources Survey Report 10-311

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ABSTRACT/MANAGEMENT SUMMARY

Project Numbers	Arizona State Museum (ASM) Accession No. 2010-0163 EcoPlan Associates, Inc. Project No. 10-311 Gilbert CIP No. MF022 Federal Emergency Management Agency (FEMA) Project No. EMW-2009-FC-02614
Report Title	<i>Cultural Resource Survey for a Proposed Fire Station on the North Side of Guadalupe Road between McQueen and Cooper Roads in the Town of Gilbert, Maricopa County, Arizona</i>
Report Date	May 2010
Agencies	Department of Homeland Security – Federal Emergency Management Agency (FEMA) Town of Gilbert (the Town) State Historic Preservation Office (SHPO) Arizona State Museum (ASM)
Applicable Historic Preservation Legislation	This project has federal American Recovery and Reinvestment Act (ARRA) grant assistance from FEMA, and therefore is an undertaking requiring compliance with Section 106 of the National Historic Preservation Act. Survey was conducted under the terms and conditions of an Arizona Antiquities Act (AAA) blanket permit (no. 2010-030bl), issued to EcoPlan by ASM. This type of permit is required for cultural resource investigations that occur on any municipal, county, or state lands.
Project Description and Area of Potential Effects	<p>The fire station would be constructed on an approximate 3-acre undeveloped parcel and would include the fire station and apparatus bays, visitor and staff parking areas, a fuel station consisting of an above-ground diesel fuel storage tank, landscaped areas, and a new pedestrian sidewalk. A traffic control device is proposed at the fire station egress/ingress onto Guadalupe Road.</p> <p>The area of potential effects (APE) is defined as the approximate 320 ft x 445 ft parcel (Maricopa County parcel number 302-12-513) fronting on the north side of Guadalupe Road between McQueen and Cooper roads where fire station construction is to take place and an approximate 50 ft x 70 ft contiguous parcel on Guadalupe Road (Town right-of-way), centered on the larger parcel, where a traffic control device is to be constructed. Because there are no historic properties that could be subject to effect within the project area or in the immediate vicinity, no lasting atmospheric, visual, or auditory effects are anticipated.</p>
Project Location and Land Jurisdiction	The proposed fire station construction is to take place on the north side of Guadalupe Road including Maricopa County parcel 302-12-513. The survey area is located within portions of Sections 2 and 11, T1S R5E of the Gila and Salt River Base Line and Meridian as depicted on the Chandler (1981) USGS 7.5-minute topographic quadrangle. Land jurisdiction within the survey area is municipal (property owned by the Town).
Results of Fieldwork	No cultural resources or isolated cultural materials were observed during survey.
Eligible Properties	None
Ineligible Properties	None
Recommendations	No historic properties exist within the project area or in the immediate vicinity; therefore, a finding of “no historic properties affected” is recommended for the current undertaking.
Collections	None
Repository	ASM

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INTRODUCTION

The Town of Gilbert (the Town) is planning to construct a fire station on the north side of Guadalupe Road between McQueen and Cooper roads in the Town of Gilbert, Maricopa County, Arizona (Figure 1).

The fire station would be constructed on a 3.35-acre undeveloped parcel and would include the fire station and apparatus bays, visitor and staff parking areas, a fuel station consisting of an above-ground diesel fuel storage tank, landscaped areas, and a new pedestrian sidewalk. A traffic control device is proposed at the fire station egress/ingress onto Guadalupe Road.

This report presents background information and the results of the cultural resource survey.

PROJECT LOCATION AND AREA OF POTENTIAL EFFECTS

The proposed fire station is to be constructed on the north side of Guadalupe Road within parcel 302-12-513. The survey area is located within portions of Sections 2 and 11, T1S R5E of the Gila and Salt River Base Line and Meridian as depicted on the Chandler (1981) USGS 7.5-minute topographic quadrangle (Figure 2). Land jurisdiction within the survey area is municipal (property owned by the Town).

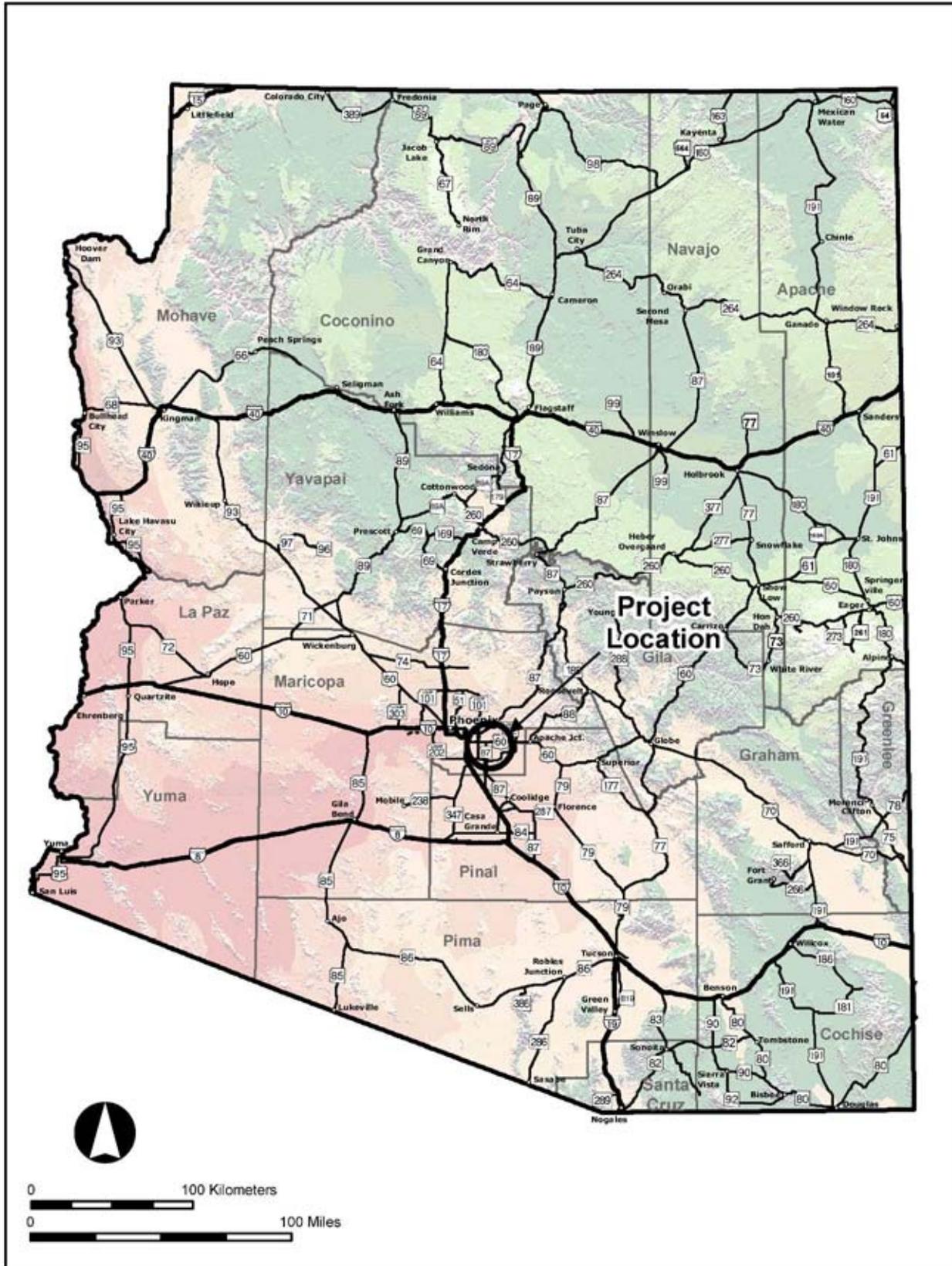
The area of potential effects (APE) is defined as the approximate 320 ft x 445 ft parcel (Maricopa County parcel number 302-12-513) fronting on the north side of Guadalupe Road between McQueen and Cooper roads where fire station construction is to take place and an approximate 50 ft x 70 ft contiguous parcel on Guadalupe Road (Town right-of-way), centered on the larger parcel, where a traffic control device is to be constructed. Because there are no historic properties that could be subject to effect within the project area or in the immediate vicinity, no lasting atmospheric, visual, or auditory effects are anticipated.

REGULATORY CONTEXT

This project has federal American Recovery and Reinvestment Act (ARRA) grant assistance from the Federal Emergency Management Agency (FEMA), and therefore is an undertaking requiring compliance with Section 106 of the National Historic Preservation Act. Survey was conducted under the terms and conditions of an Arizona Antiquities Act (AAA) blanket permit (no. 2010-030bl), issued to EcoPlan by the Arizona State Museum (ASM). This type of permit is required for cultural resource investigations that occur on any municipal, county, or state lands. Notification of intent to survey was submitted 26 March 2010 and ASM issued EcoPlan accession number 2010-0163 on 29 March 2010.

REPORTING CONVENTIONS

Cultural resource specialists typically express measurements using the metric system when reporting on aboriginal archaeological sites, and English measurements when discussing non-aboriginal properties. Measurements derived from USGS maps, or from other sources in which English measurements are used, are given only in English dimensions. Thus, distances are given in miles and elevations are given in feet. The dimensions of surveyed areas are expressed in feet (or miles) and acres. If appropriate, metric-English conversions are provided for clarity.



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Figure 1. General Project Location.

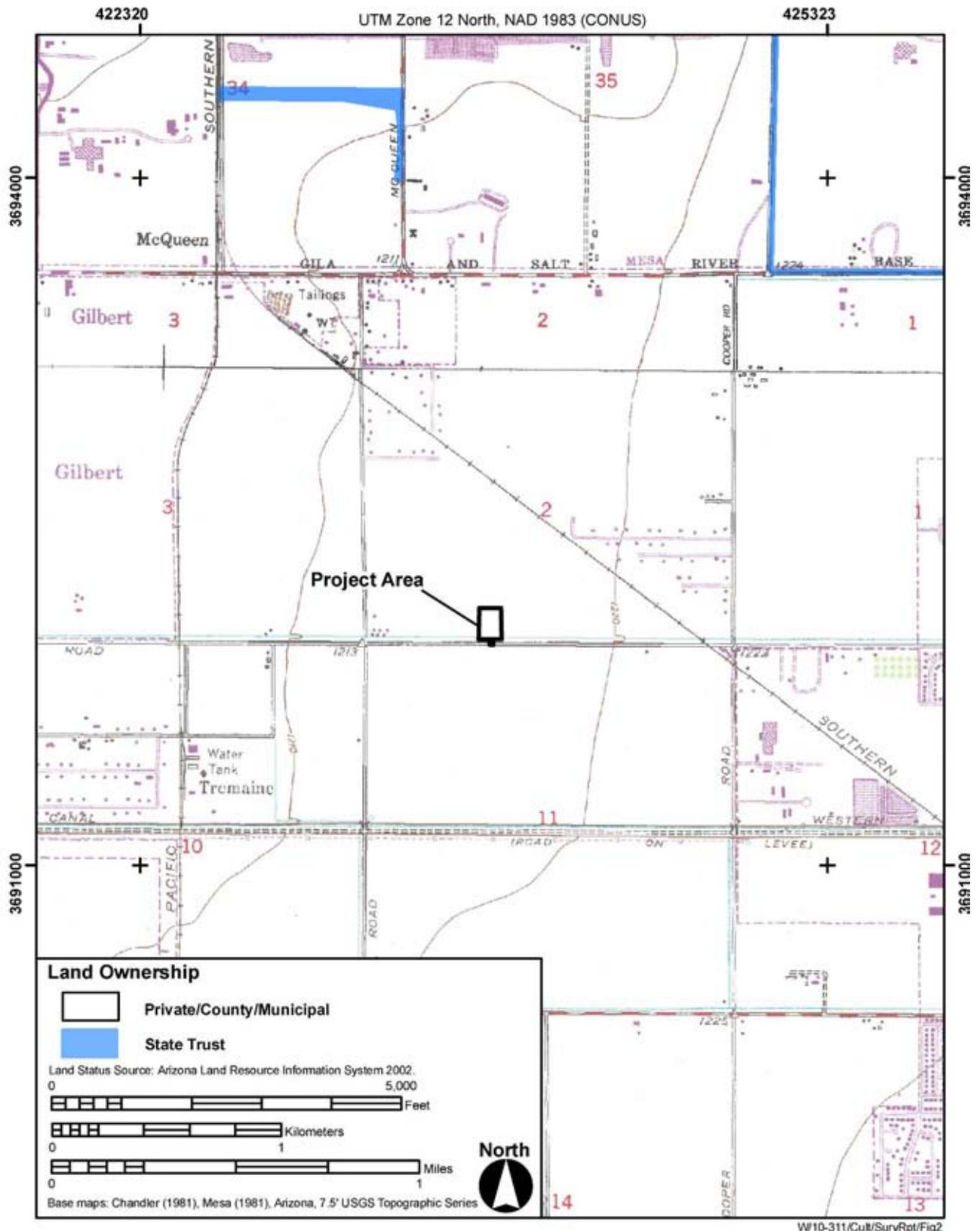


Figure 2. Project Area Vicinity Depicting Land Status (Scale 1:24,000).

ENVIRONMENTAL CONTEXT

The project area is located within the Salt River Valley and the Phoenix Basin, and therefore within the Basin and Range Physiographic province of Arizona (Chronic 1983). Native vegetation typical of the project vicinity is classified within the Lower Colorado River Subdivision of the Sonoran Desertscrub Biotic Community (Turner and Brown 1994), which, in its natural state, is characterized by an abundance of creosotebush and white bursage, as well as mesquite, ironwood, paloverde, saguaro, and catclaw acacia. Within the project area, vegetation is limited to opportunistic weeds and ornamentals as well as landscaped lawn.

The project area is in the Town of Gilbert, approximately six and a half miles southeast of the Salt River. Elevation within the project area is approximately 1,250 feet above mean sea level (amsl). Soils in the area consist of gravelly, moderately fine to fine-textured well-drained soils associated with the Mohall-Vecont-Pinamt Association (Hendricks 1985).

Land use in the immediate vicinity of the project area is primarily modern, residential development with some scattered modern commercial buildings. The land within the project area, formerly agricultural fields, has not been developed. While once prevalent, the nearest agricultural fields today can be found several miles to the south of the project area.

CULTURAL CONTEXT

This section briefly summarizes the prehistory and history of the area. More detailed overviews of the regional culture history can be found in Crown and Judge (1991), Doyel (1987), Doyel and others (2000), Gladwin and others (1938), Gumerman (1991), Haury (1945, 1976), and Wilcox and others (1981).

The culture history of the study area is roughly divided into five time periods prior to 1950: Paleoindian (~10,000–8,500 BC), Archaic (8,500 BC–AD 1), Formative (AD 1–1500), Ethnohistoric (AD 1500–1800), and Historic (AD 1800–1950) (Table 1). Populations during the Paleoindian and Archaic periods predominantly consisted of small, mobile hunting and gathering groups. Seasonally-based agricultural subsistence strategies were introduced during the Archaic period. Paleoindian and Archaic period sites are poorly represented in the Phoenix Basin (Mabry 1998).

The Formative Period Hohokam culture, centered on the Gila, Salt, and Santa Cruz river valleys, is one of the most widely investigated cultural groups in North America. Researchers have divided the Hohokam cultural sequence into four periods that correspond to changes in settlement and subsistence patterns. These periods are the Pioneer (AD 1–775), Colonial (AD 775–975), Sedentary (AD 975–1150), and Classic (AD 1150–1400).

The Formative Period marks the introduction of ceramic technology, an increased dependence on agriculture, and the establishment of sedentary villages (Doyel and Fish 2000; Mabry 2000). The Hohokam are known for their extensive canal networks and irrigation agriculture, the development of a vast trade network, and the production of Red-on-buff decorated pottery (Cordell 1997), as well as the construction of monumental adobe structures, such as platform mounds and ballcourts (the latter are found at sites such as Pueblo Grande and Casa Grande). The Hohokam culture apparently collapsed in the Phoenix Basin sometime around AD 1400; this has been attributed, at least in part, to major climatic variations throughout the Southwest (Nials and others 1988).

**Table 1
Hohokam Chronology Per Dean (1991)**

Present		Recent
1950		
		Historic
1800		Native American and Euroamerican
		Ethnohistoric
1500		O'odham (Pima and Papago)
		Classic Period
1350		Polvorón Phase (?)
		Civano Phase
1150		Soho Phase
		Sedentary Period
		Santan Phase (?)
		Sacaton Phase
850	Formative Hohokam	Colonial Period
		Santa Cruz Phase
		Gila Butte Phase
700		Snaketown Phase
		Sweetwater Phase
500		Pioneer Period
		Estrella Phase
		Vahki Phase
		Red Mountain Phase
A.D.		
B.C.		
		Archaic
8500		
10,000		Paleoindian

After AD 1500, indigenous Pima and Papago groups (modern-day Akimel O’odham and Tohono O’odham) occupied the region surrounding the Phoenix Basin. Spanish exploration of the region began in the 1600s, and Euroamerican settlers arrived in the Phoenix area in the 1860s, after the United States acquired what is now Arizona through the Treaty of Guadalupe Hidalgo in 1848 and the Gadsden Purchase of 1853 (Trimble 1986). Early settlers of the Phoenix Basin were attracted by fertile soils and the potential for agriculture. Jack Swilling organized the Swilling Irrigation Canal Company in 1867, which resulted in the re-excavation of Hohokam canals in the Phoenix area (Trimble 1986; Zarbin 1997), and encouraged population growth within the region. Urban development and expansion of the greater Phoenix metropolitan area continues today.

Gilbert’s origins are similar to those of the greater Phoenix area. Homesteaders were attracted by the fertile soils in the late 1890s. The arrival of the Phoenix and Eastern (later Southern Pacific and now Union Pacific) Railroad in 1902 followed by increased availability of irrigation water associated with the construction of the Roosevelt Dam in 1911 led to modest community growth (Dorigo 2006). The Town incorporated in 1920 and remained a small rural agricultural community until the 1950s when Williams Air Force Base, the General Motors Proving Grounds, and the Vegetable Oil Products Company all arrived in or near the Town causing a huge increase in population. In the 1970s and 1980s, Gilbert was transformed into a bedroom community as farmland was sold and converted to smaller lots. Today, Gilbert continues to be one of the state’s fastest growing communities.

PREVIOUS RESEARCH

Cultural resource records were searched for prior cultural resource investigations and documented cultural resources within ½ mile of the project area location. Records were acquired from the AZSITE on-line database and the Archaeological Records Office at the ASM. Historic-era General Land Office (GLO) plat maps on file at the Arizona office of the Bureau of Land Management (BLM) also were examined as was the National Register of Historic Places online database. Thirteen prior investigations were identified as a result of the records check (Table 2, Figure 3). Additionally, six previously recorded cultural resources also were identified (Table 3, Figure 3). None of the previously recorded cultural resources were identified within the project area.

Table 2
Prior Cultural Resource Investigations in the Project Area Vicinity

No.	Project	Description	Reference
1	77-076.ASU	Broadway to Kyrene Transmission Line	AZSITE 2010
2	15-80.ASU	Gilbert Sewage Treatment Plant	Larson 1980
3	1983-150.ASM	Proposed Corbell Substation Site	Stone 1983
4	1993-4.ASM	Gilbert School III	Punzmann 1993
5	1993-177.ASM	Gilbert Fiesta Elementary School	Hayton 1992
6	1993-188.ASM	McQueen Road and Springs Drive School Site	Troncone 1993
7	1995-441.ASM	RS 16 Archaeological Survey	Griffith 1995
8	1999-587.ASM	PBNS Level 3 Fiber Optic Line	Doak 1999a, 1999b, 1999c, 1999d, 2001, Hesse 2002
9	2000-723.ASM	AT&T NexGen/Core Project Link 3 Class 3	Kearns and others 20001
10	2003-358.ASM	McQueen Park Phase III	Punzmann 2002
11	2003-1120.ASM	EPNG Pipeline 2222	North and Lundin 2003
12	2004-627.ASM	Add D: El Paso to LA Fiber Optic Line	Newsome and Berg 20001
13	7.2975.SHPO	Letter report: Town of Gilbert, 24 Water Pipeline on Western Canal Lateral 9.5	AZSITE 2010

Table 3
Previously Recorded and Potential Cultural Resources in the Project Area Vicinity

No.	Site Name/Number	Description	National Register Status ¹	Reference
1	Southern Pacific Railroad (SPRR), Mesa to Winkleman spur / AZ T:10:84 (ASM)	Historic railroad	Determined eligible Criterion, A	AZSITE 2010
2	Western Canal / AZ T:12:154 (ASM)	Historic canal	Determined eligible Criteria A and D	Newsome and Berg 2001
3	AZ U:9:129 (ASM)	Historic building foundation and artifact scatter	Unevaluated	AZSITE 2010
4	SPRR, Wellson-Phx-Eloy spur / AZ U:16:299 (ASM)	Historic Railroad	Determined eligible Criterion A	AZSITE 2010
5	SPRR, Mesa to Southern Santan Spur / AZ U:13:255 (ASM)	Historic railroad	Recommended not eligible	Newsome and Berg 2001
6	Unnamed GLO roads	Historic roads	Unevaluated	GLO plat maps

¹ Properties identified as “determined” eligible are those for which documentation of consultation by a federal or state agency with the SHPO was obtained. Properties identified as “recommended” eligible or not eligible are those for which no documentation of consultation was obtained or for which consultation has yet to occur.

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Figure 3. Previous Cultural Resource Investigations and Recorded and Potential Cultural Resources within the Project Vicinity.

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SURVEY RESULTS

This section presents the field methods employed and the field survey results for the Town of Gilbert Fire Station project.

Field survey was conducted by EcoPlan project director Matthew Behrend on 29 March 2010. Survey was accomplished with pedestrian transects spaced no greater than 15 meters apart. One hundred percent of the 3.35 acres project area was surveyed except the existing paved cul-de-sac (Figure 4) and sidewalks. Ground visibility during the survey varied greatly ranging between 30–90 percent (Figure 5). The ground in the survey area likely was leveled and/or graded during earlier agricultural activities as indicated by the artificially level field and the mounding of soil on the periphery.

No new cultural resources or isolated occurrences of cultural material were recorded.



Figure 4. Photographic Overview of Project Area Depicting Existing Pavement, View South.



Figure 5. Photographic Overview of Project Area from the Southeast Corner, View Northwest.

RECOMMENDATIONS AND CONCLUSIONS

On 29 March 2010, EcoPlan archaeologist Matthew Behrend surveyed a total of 3.35 acres (not including the existing paved areas) for the proposed fire station project located on the north side of Guadalupe Road in the Town of Gilbert, Maricopa County, Arizona. One person-field day of effort was expended. The field work was authorized under ASM blanket permit 2010-030bl. No new cultural resources were observed during the surface examinations of the survey area, nor had any been recorded previously.

There is no evidence to suggest that cultural resources exist within the project area, nor are there any historic properties that might be subject to effects from visual, auditory, or atmospheric intrusions in the immediate vicinity; therefore, a finding of “no historic properties affected” is recommended for the current undertaking.

If previously unidentified cultural resources are encountered during activity related to the construction of the project, the contractor must stop work immediately at that location and take all reasonable steps to secure the preservation of those resources. The SHPO and FEMA must be notified within 24 hours and a qualified cultural resource specialist must assess the materials to determine an appropriate course of action.

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