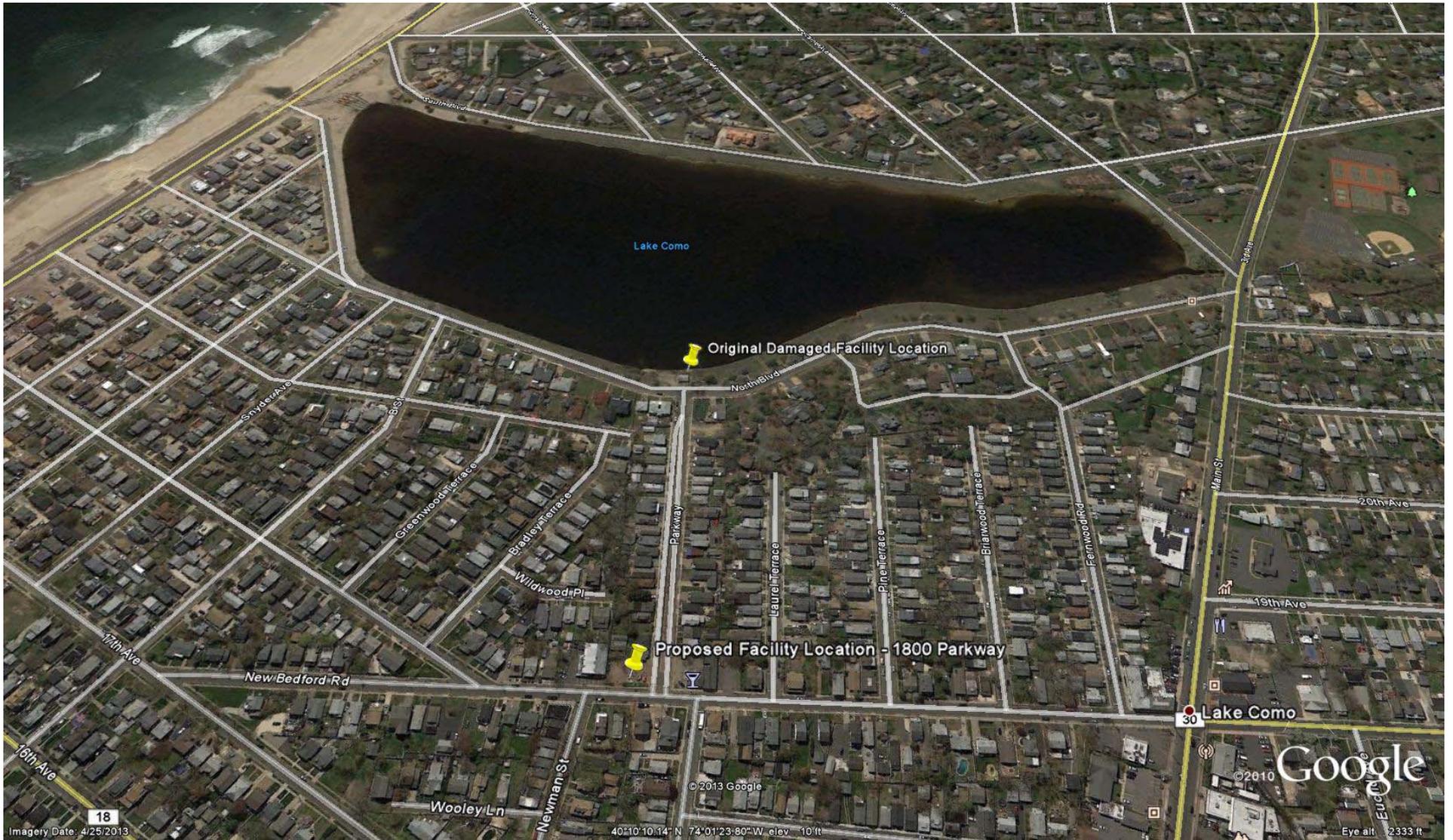


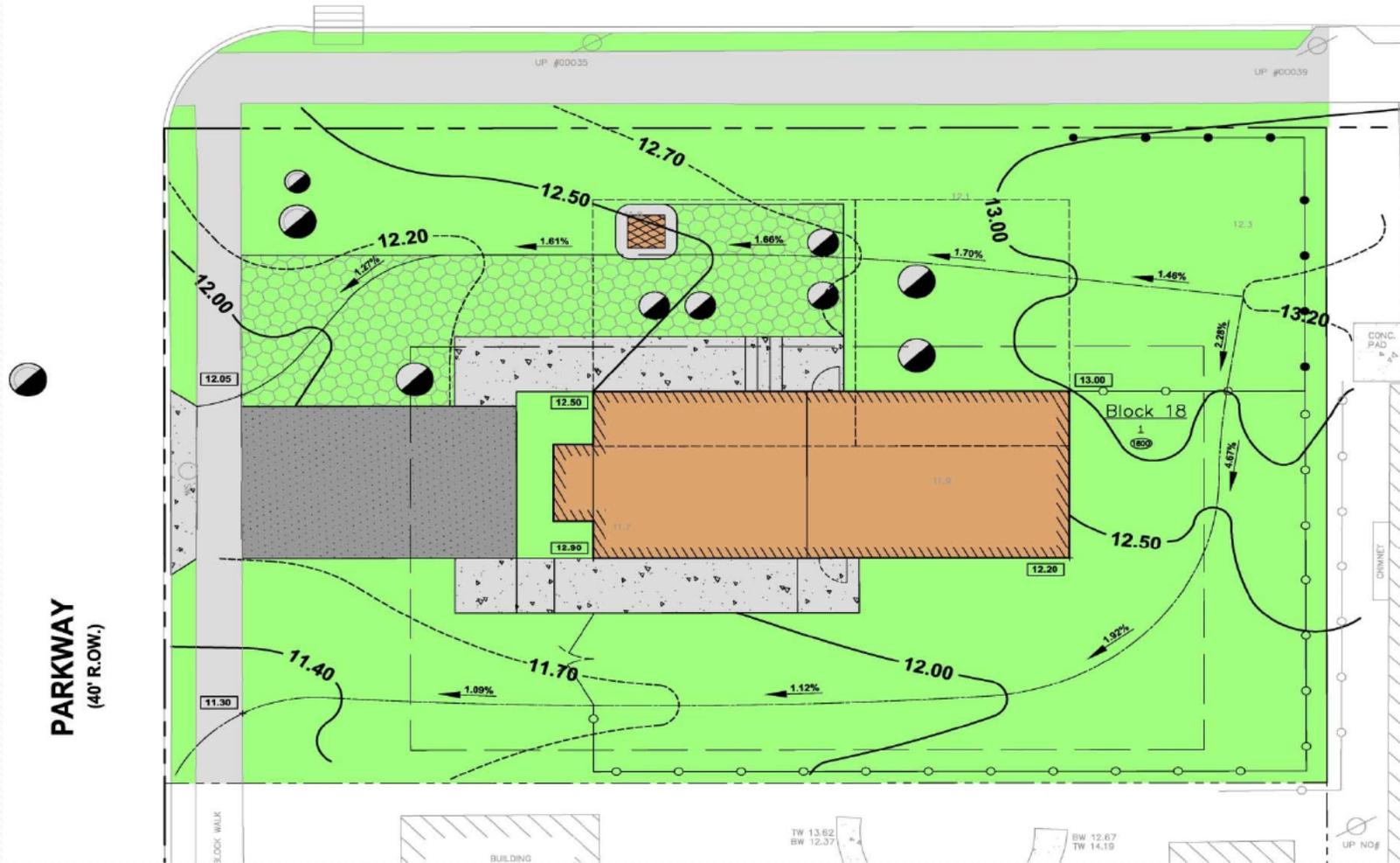
Appendix A

Map & Figures

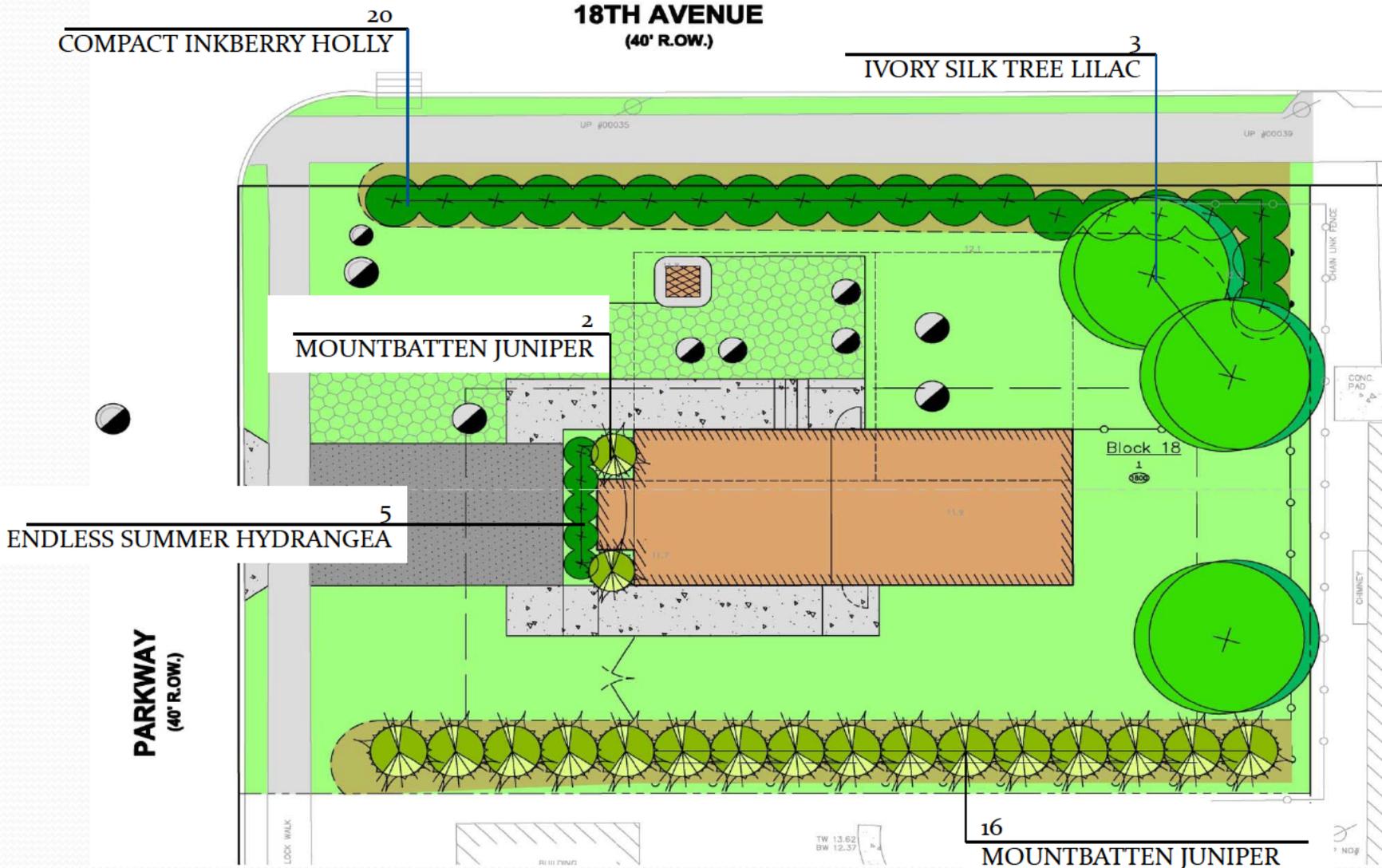
- Project Location Map
- Site Grading Plan
- Site Landscape Plan
- Building Rendering Front
- Building Rendering Side



18TH AVENUE
(40' R.O.W.)



GRADING PLAN



LANDSCAPING PLAN

NORTH (18TH AVENUE)

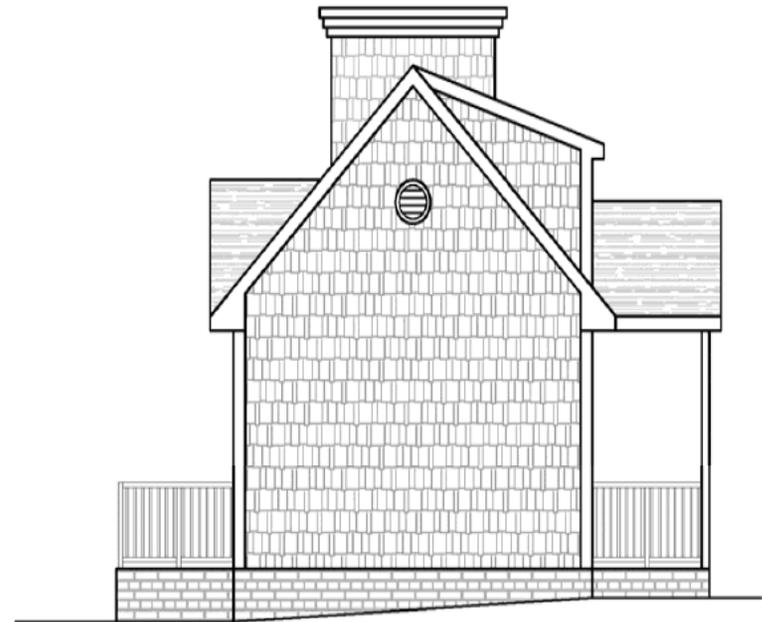
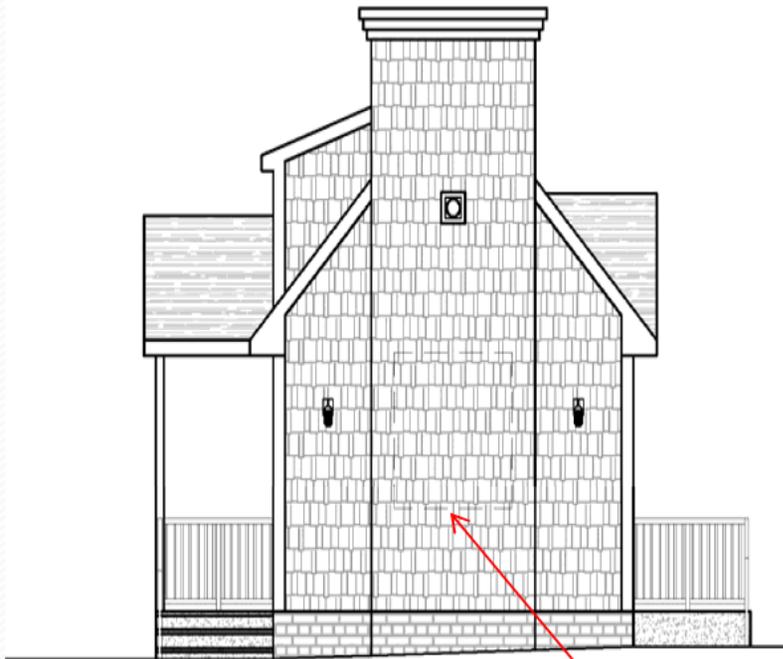


STAIRS TO FRONT
DOORWAY

BUILDING ELEVATIONS

WEST (PARKWAY)

EAST (SHAMROCK PUB)



GENERATOR EXHAUST
CHIMNEY

BUILDING ELEVATIONS

Appendix B

**EO 11988-11990 Floodplain Management &
Wetlands Protection Eight-Step
Decision-Making Process**

- 8-Step Summary
- Flood Insurance Rate Map
- Preliminary Work Map

EIGHT STEP DECISION-MAKING PROCESS SUMMARY

In compliance with FEMA regulations, 44 CFR Part 9, implementing Executive Order (EO) 11988 Floodplain Management and EO 11990 Wetlands Protection an eight-step decision-making process is used for actions that are proposed in floodplains and wetlands.

Step 1 Determine whether the Proposed Action is located in (or adjacent to and affecting or affected by) a floodplain or wetland.

The existing Pump Station (501 North Boulevard in Lake Como, Monmouth County, New Jersey; GPS 40.16922, -74.02276) is located within the 100-year floodplain, also known as the Special Flood Hazard Area. The existing site has a Base Flood Elevation (BFE) of 11 feet NAVD88 as indicated on best available floodplain elevation maps available at www.region2coastal.com/sandy/abfe. The 500-year floodplain elevation in vicinity to the proposed site has an elevation of approximately 12 feet NAVD88.

The proposed site (1800 Parkway in Lake Como, Monmouth County, New Jersey; GPS 40.17146, -74.02339) is not located in a 500-year floodplain or a Flood Zone, as depicted in FEMA's Preliminary Flood Map Number 34025C, effective date June 17, 2013 (*included in this Appendix*) and FEMA's Flood Insurance Rate Map Community Map Number 34025C0342F, effective date September 25, 2009 (*included in this Appendix*).

The proposed action is not located in or adjacent to a wetland per review of the National Wetland Inventory mapping and based on site evaluation. The proposed scope of work would not affect wetlands, thus no further wetland analysis is required.

Step 2 Notify the public of proposed floodplain actions and give opportunity to participate in the decision-making process.

A cumulative public notice for the disaster was published in the *Asbury Park Press* newspaper on November 26, 2012. As indicated in the notice, "This public notice concerns those projects and activities that may affect historic properties, or those actions and activities that are located in or affect wetland areas, the 100-year floodplain, and/or critical actions within the 500-year floodplain. Such projects and activities may adversely affect the historic property, floodplain, or wetland, or may result in continuing vulnerability to damage by flooding.

Presidential Executive Orders 11988 and 11990 require that all federal actions in, or affecting, the base floodplain or wetland areas be reviewed for opportunities to relocate, and evaluated for social, economic, historical, environmental, legal, and safety considerations." In addition, a project specific notice integrated with the Notice of Availability of the NEPA Environmental Assessment will be published in the *Asbury Park Press*. The public notice will invite comments within 15 days of the publication date of the notice.

Step 3 Identify and evaluate practicable alternatives to locating a project in the floodplain, including alternative sites outside of the floodplain.

According to 44 CFR Part 9.9 (b), alternatives considered to carrying out the Proposed Action outside of the floodplain include: The No Action Alternative, the Proposed Action Alternative-Facility Relocation, and Alternative 2-Facility Replacement and Elevation.

The No Action Alternative would promote continued floodplain occupancy and future risk of not only additional flood damage to the facility itself, but disruption of service that can be detrimental to the public and also the environment. The site's accessibility has been compromised in past flooding events, as well as Hurricane Sandy, thus adversely impacting operations. The repair of the facility, without elevation or floodproofing, may not fully address requirements in accordance with the National Flood Insurance Program.

The Proposed Action Alternative, facility relocation, is a practicable alternative to relocate the facility outside the 500-year floodplain. The facility would be located on higher ground with first floor elevation constructed at approximately 14 feet NAVD88. Equipment would be elevated to approximately 16.5 feet NAVD88. The proposed relocation not only minimizes risk of future flood damage to the facility itself, but also improves operational capabilities to have facility access outside the 500-year floodplain. The proposed action would have a beneficial impact on floodplain habitat and function, as the existing facility would be demolished and removed as a structure in the floodplain and as source of potential pollution. The area would be returned to open space for enhancement of lakeside habitat and recreational space.

Alternative 2, facility replacement and elevation, would promote continued floodplain occupancy and future risk of not only additional flood damage to the facility itself, but disruption of service that can be detrimental to the public and also the environment. The site's accessibility has been compromised in past flooding events, as well as Hurricane Sandy, thus adversely impacting operations. Elevation or floodproofing of the replacement facility at the original site to at/above the 500-year floodplain elevation plus one foot elevation would help minimize risk of future flood damage to the facility, but would not be as risk averse as the Proposed Action Alternative. The alternative would not fulfill full operational needs of the project.

Step 4 Identify impacts associated with occupancy and modification of floodplains and support of floodplain development that could result from the Proposed Action.

The proposed action is not in a 500-year floodplain and therefore not expected to cause an increase in the BFE (Base Flood Elevation) nor increase the flood hazard potential to other nearby infrastructure. The proposed action does not increase the capacity of the infrastructure and is not expected to encourage future development in the floodplain.

Step 5 Develop impact minimization measures and ways to restore and preserve the floodplain.

Relocation of pump station outside of the 500-year floodplain minimizes and avoids impacts to the floodplain. The proposed structure's lowest floor elevation is 14 feet or approximately 2 feet above the nearest 500-year floodplain base flood elevation.

Step 6 Determine whether the proposed action is practicable and reevaluate alternatives.

Pursuant to the discussion above, namely (1) that the proposed facility is outside of the 500-year floodplain, (2) that the existing site elevations for the area selected for the project are higher than the nearest 500-year floodplain BFE, (3) that the proposed action will not increase the flood levels, thus will not disrupt floodplain values, and (4) that the project will improve the South Monmouth Regional Sewerage Authority's capability to provide sanitary sewer service to the residents of Lake Como, the proposed action seems practicable, and reevaluation of alternatives does not seem necessary. The practicable alternative is to construct the proposed project outside of the 500-year floodplain.

Step 7 Provide the public with an explanation of any final decision that the floodplain action is the only practicable alternative.

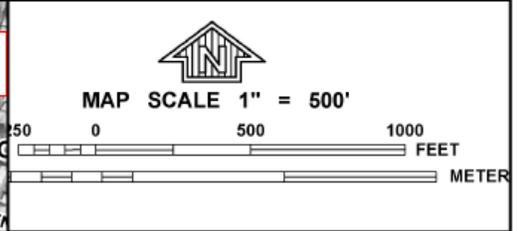
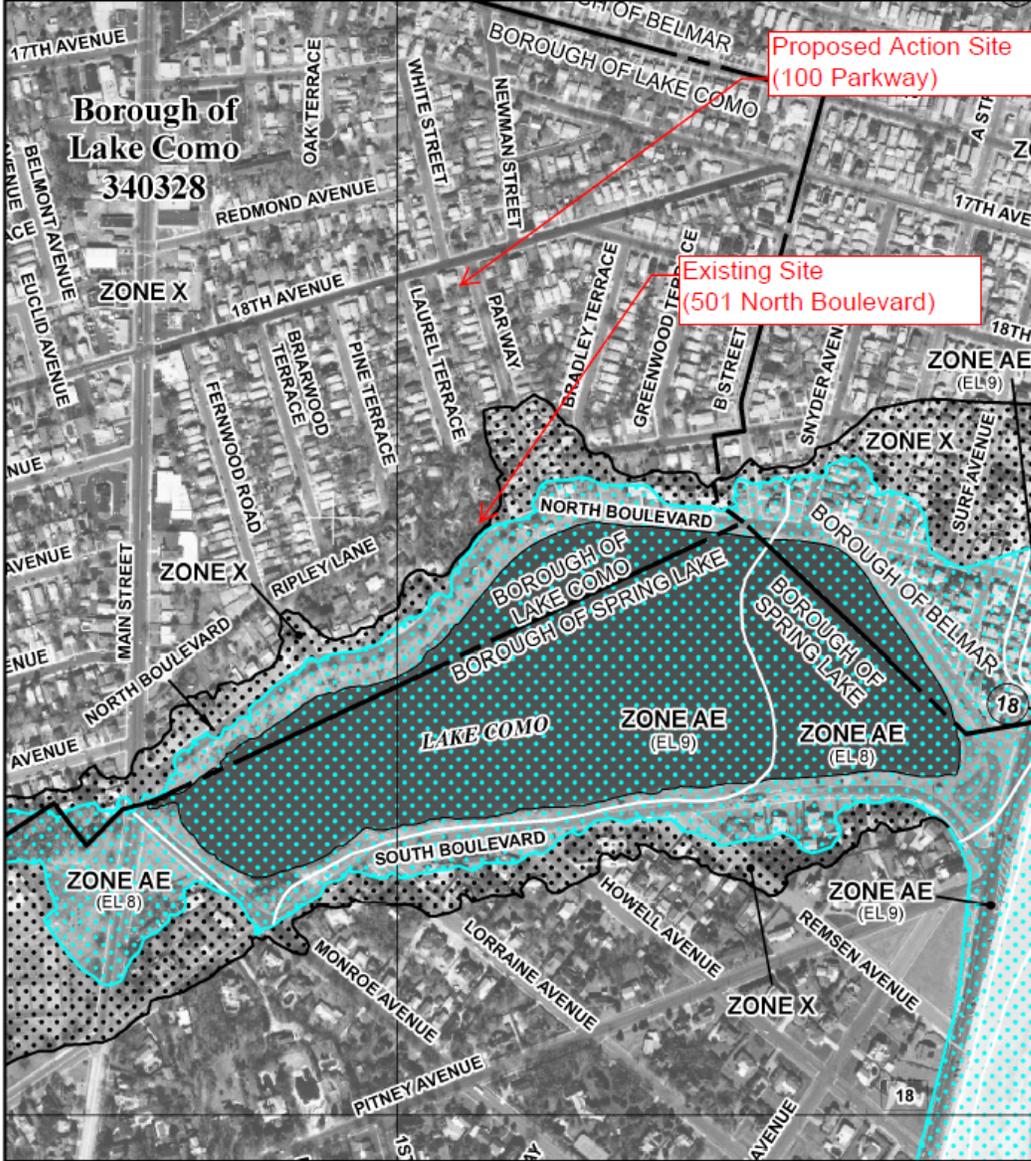
The Finding of No Significant Impact (FONSI) will provide final decision documentation and will and posting FEMA document library at www.fema.gov/resource-document-library.

Step 8 Implement the Proposed Action following release of grant funding.

- Sub-grantee is responsible to obtain/maintain insurance to cover the proposed facility in accordance with the National Flood Insurance Program.

Sub-grantee is responsible for all applicable coordination with the local floodplain administrator, to consider building codes for design development, and to obtain applicable building permit(s).

Flood Insurance Rate Map



NFP

PANEL 0342F

FIRM
FLOOD INSURANCE RATE MAP
MONMOUTH COUNTY,
NEW JERSEY
(ALL JURISDICTIONS)

PANEL 342 OF 457
 (SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
AVON-BY-THE-SEA, BOROUGH OF	340287	0342	F
BELMAR, BOROUGH OF	340285	0342	F
LAKE COMO, BOROUGH OF	340328	0342	F
NEPTUNE, TOWNSHIP OF	340317	0342	F
SPRING LAKE, BOROUGH OF	340329	0342	F
WALL, TOWNSHIP OF	340333	0342	F

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER
34025C0342F

EFFECTIVE DATE
SEPTEMBER 25, 2009

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-AMT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.nrc.fema.gov

Preliminary Work Map

Best Available Flood Hazard Data

Best available flood hazard data for Sandy affected counties in NJ and NY

Panel Number 34025C, effective date June 17, 2013



Reference: FEMA Region II, June 2013, Best Available Flood Hazard Data-Preliminary Work Maps for Completion of New Flood Insurance Rate Maps due to be formally adopted by 2015.
<http://fema.maps.arcgis.com/home/webmap/viewer.html?webmap=2f0a884bfb434d76af8c15c26541a545>

Appendix C

Coastal Zone Consistency & Permit Correspondence

- NJDEP Email to Subgrantee for Emergency Permit Authorization
- Subgrantee Application Letter for CAFRA Permit
- Excerpt from CAFRA Application
- NJDEP Letter to Subgrantee regarding CAFRA Application Process
- NJDEP Treatment Works Letter

Jadrosich, Megan

From: Turner, Kara <Kara.Turner@dep.state.nj.us>
Sent: Thursday, August 29, 2013 2:21 PM
To: Gray, Georgeann
Subject: FW: Emergency Permit Authorization: Lake Como Pump Station

From: Turner, Kara
Sent: Friday, March 08, 2013 11:15 AM
To: 'TGillen@cmeusa1.com'
Cc: Ledesma, Jenifer; 'BethanyRyan@cmeusa1.com'
Subject: Emergency Permit Authorization: Lake Como Pump Station

EMERGENCY PERMIT AUTHORIZATION

Permittee: South Monmouth Regional Sewerage Authority
File Number: 1352-13-0002.1 CAF 130001
Block: 18, Lot: 1
1800 Parkway, Lake Como

Pursuant to N.J.A.C. 7:7-1.7, Emergency Permit Authorization, you are hereby authorized to construct a replacement wastewater pump station for the Lake Como wastewater pump station currently located on South Blvd., in the Borough of Spring Lake. The new pump station will be located at 1800 Parkway, Block 18, Lot 1, in the Borough of Lake Como. Site preparation for the new pump station will include the demolition of an existing single family home on the property in Lake Como.

Please note that this authorization does not authorize any disturbance to wetlands.

The construction may be presumed to be consistent with the New Jersey Coastal Zone Management Program.

Enforcement has been copied on this email.

This is your Emergency Authorization, no other document will follow. As such, you are required to submit a complete coastal permit application to the Department, pursuant to N.J.A.C. 7:7-1.7(a)4.

This authorization recognizes the "verbal" Authorized issued on 2/15/2013.

This Emergency Authorization is subject to the following special conditions:

1. A CAFRA Individual permit application for the above proposed work must be submitted to this office within 10 working days of this Emergency Permit Authorization.
2. This Authorization does not alleviate your responsibility to obtain any other local, State or other Federal authorizations required by law.
3. This Authorization is valid provided that construction is initiated within 30 days of the date of this notice. Failure to initiate construction will result in automatic termination of this authorization.
4. Consistent with Assembly Bill, No. 2804, P.L., Chapter 113 the use of creosote treated material (or other descriptive term from the law) in the construction of the authorized structures(s) is prohibited.

Kara Turner
NJDEP-Division of Land Use Regulation
Mail Code 501-02A
PO Box 420
Trenton, NJ 08625
Phone: 609-292-0060
Fax: 609-292-5399
<http://www.nj.gov/dep/landuse/>



JOHN H. ALLGAIR, P.E., P.P. (1983-2001)
DAVID J. SAMUEL, P.E., P.P.
JOHN J. STEFANI, P.E., L.S., P.P.
JAY B. CORNELL, P.E., P.P.
MICHAEL J. McCLELLAND, P.E., P.P.
GREGORY R. VALES, P.E., P.P.

TIMOTHY W. GILLEN, P.E., P.P.
BRUCE M. KOCH, P.E., P.P.
BEHRAM TURAN, P.E.
TREVOR J. TAYLOR, P.E., P.P.
LOUIS J. PLOSKONKA, P.E.

May 28, 2013

Christopher M. Dolphin, Section Chief
State of New Jersey
Department of Environmental Protection
Division of Land Use
Bureau of Coastal Regulation
P.O. Box 439
Trenton, NJ 08625

**Re: "Coastal Area Facility Review Act Permit Application" for the
Relocation of a Sanitary Sewage Pumping Station for the
South Monmouth Regional Sewerage Authority
Block 18, Lot 1
Borough of Lake Como, Monmouth County, NJ
Our File: PSS00308.01**

Dear Mr. Dolphin:

On behalf of our client, the South Monmouth Regional Sewerage Authority (1235 18th Avenue, Belmar, NJ 07719), this office is applying for a Coastal Area Facilities Review Act (CAFRA) Permit for the relocation of a sanitary sewage pumping station that was destroyed by Superstorm Sandy. The existing station is located on the northerly side of South Boulevard, approximately 300 feet from the beach limit in the Borough of Spring Lake. The existing facility is no longer operational as a result of the storm, and the Authority is relying on temporary, portable pumps to meet the conveyance requirements.

On February 15, 2013, CME Associates received an e-mail from the Department issuing an approval for an Emergency Permit for the work specified herein. The work on the new pumping has already begun. This application seeks formal Department approval for a CAFRA Permit for a Public Development, as found within the Coastal Permit Program Rules (within NJAC 7:7-2.1(a)5iii). All proposed and existing features on the subject property are shown on the enclosed plans entitled "South Monmouth Regional Sewerage Authority, Lake Como Pump Station", as prepared by CME Associates, consisting of 6 sheets, dated March 2013, revised to April, 2013.

Existing Conditions

The Authority has purchased a residential property, known as Lot 1 in Block 18, at the intersection of 18th Avenue and Parkway, within the Borough of Lake Como. Two (2) restaurants border the site to the east and west, where the remaining land uses are residential. Onsite, a variety of ornamental shrubs and a maintained lawn surrounded the existing small house, prior to the commencement of construction, but have since been removed.





Re: NJDEP CAFRA Permit Application
SMRSA Lake Como Pump Station Replacement
Borough of Lake Como, Monmouth County, NJ

May 28, 2013
PSS00308.01
Page 2

Project Description

The Lake Como Pump Station Project includes the construction of a new sanitary sewer pumping station to service the Borough of Lake Como. Construction will include a concrete wet well and dry well below grade and a utility building above grade to house electrical equipment and controls. Two (2) dry-pit submersible pumps, each with a capacity of 1,330 gallons per minute at 83 feet of head will be installed in the station. The average daily flow to the pumping station is estimated to be 349,000 gallons per day or approximately 242 gallons per minute. No changes to the service area of the pump station will result from this project.

Please note that the Compliance Statement for the CAFRA Permit application is included as a separate bound document, included with this application.

The following items are enclosed for your review of this application:

- Completed LURP2 application form;
- Local Street Map, Location Map, Tax Map, USGS quadrangle map portion, FEMA Map portion and USDA soils map with project site highlighted;
- Representative site photographs;
- Certified mail receipts as proof three complete application packages have been forwarded to the Office of the Lake Como Borough Clerk, requesting the Clerk distribute one copy to the Borough Planning Board and one to the Environmental Commission;
- Certified mail receipts as proof that the LURP form, the site plan and the notification letter were forwarded to the Monmouth County Planning Board and Environmental Commission, and the Borough of Lake Como Construction Official.
- Fifteen (15) copies of the Compliance Statement for the Rules on Coastal Zone Management.
- Copy of notification letter.
- Fifteen (15) sets of Construction Plans.
- Application fee of \$9,700.00, the enclosed check is made payable to "Treasurer, State of New Jersey".





Re: NJDEP CAFRA Permit Application
SMRSA Lake Como Pump Station Replacement
Borough of Lake Como, Monmouth County, NJ

May 28, 2013
PSS00308.01
Page 3

Should you have any questions concerning this application, please do not hesitate to contact this office at (732) 462-7400 X119 or jdgiddings@cmeusa1.com.

Sincerely,

CME Associates

Joseph A. Giddings, CSE
Project Manager

JAG:mrm
Enclosures

cc: Michael J. Ruppel, Executive Director (w/enclosures)



COMPLIANCE STATEMENT

Prepared To Address The
WATERFRONT DEVELOPMENT LAW
Found In The Rules On
COASTAL ZONE MANAGEMENT

Prepared For

South Monmouth Sewerage Authority
Sanitary Sewage Pumping Station Relocation
Lot 1, Block 18
Borough of Lake Como, Monmouth County, New Jersey

Prepared by:



CONSULTING AND MUNICIPAL ENGINEERS
3141 Bordentown Ave., Parlin, NJ 08859

May 2013

File: PSS00308.01

INTRODUCTION

This Compliance Statement has been prepared for submission to the New Jersey Department of Environmental Protection, Division of Land Use, for a Coastal Area Facilities Review Act permit for the relocation and reconstruction of a sanitary sewage pumping station on Lot 1 in Block 18 in the Borough of Lake Como, Monmouth County, NJ. The lot size is 60' X 94', or 0.1295 acres. The existing Lake Como Pump Station, which is to be relocated as part of this project, is located between North and South Boulevards, just to the west of Ocean Ave., in the Borough of Spring Lake. This facility was severely damaged during the Sandy storm event in late October, 2012.

The location of the damaged pump station is in close proximity to the Lake Como water-body, which poses a constant threat of flooding. According to the FEMA Flood Mapping, the pump station is located within the 100-year flood zone. The Lake Como pump station has been flooded in the past by severe storms and the Authority has received FEMA restoration funding to repair the damage and restore the station to full operation. During certain storm events, the level of Lake Como has risen above the floor elevation of the pump station and flooded the surrounding area, making the station inaccessible and inoperable. When the station is inaccessible, the Authority Staff cannot maintain operation of the station for the conveyance of sewage. Recently, when the forecast includes a threat of flood conditions, the Authority locates a temporary emergency generator at the site on a large pile of stone to elevate the generator above the anticipated flood water from the adjacent lake. Additionally, the refueling of the emergency back-up generator is limited due to flood waters around the perimeter of the existing pump station. Electric service to the station is often turned off during storm events as flooding submerges the distribution system and the utility company transformers. Electric is not restored until the utility company is able to access and inspect their facilities and deem them safe.

During the Sandy Superstorm event, flood waters from Lake Como inundated the Lake Como Pump Station with approximately 5 to 6 feet of water that did not recede for 6 days. During this period, the Lake Como Pump Station was not in service and residents of the community were not able to utilize their sanitary facilities.

Immediately following Storm Sandy, the Authority performed an evaluation of the Lake Como Pump Station. The damage to the Pump Station was extensive and it was determined that the Pump Station would require a full reconstruction of the building and replacement of all equipment. Since reconstructing the Pump Station in its current location would leave the facility prone to flooding in the future, the Authority elected to proceed with the relocation of the facility to an area outside of the flood zone. The Authority Staff has installed temporary

bypass pumps in the intersection of Parkway and North Boulevard, near the Pump Station, in order to maintain sanitary sewage service to the community. (See Figures 1 and 2 for Site Location). This Compliance Statement addresses all of the applicable sections found in the Rules on Coastal Zone Management (NJAC 7:7E-1.1 et seq).

Construction will include a concrete wet well and dry well below grade and a utility building above grade to house electrical equipment and controls. Two dry-pit submersible pumps, each with a capacity of 1,330 gallons per minute at 83 feet of head will be installed in the station. The average daily flow to the pumping station is estimated to be 3,270,000 gallons per day or approximately 2,182 gallons per minute. No changes to the service area of the pump station will result from this project. The project has received an Emergency Permit Authorization from the Department via email, and the construction of the facility has begun, as of the date of this application.

The following Subchapters of the Rules on Coastal Zone Management are applicable for this project:

- Subchapter 3 – Special Areas
- Subchapter 5 – Requirements for Impervious Cover and Vegetative Cover for General Land Areas and Certain Special Areas
- Subchapter 6 – General Location Rules
- Subchapter 7 – Use Rules
- Subchapter 8 – Resource Rules

SUBCHAPTER 3 – SPECIAL AREAS

The lot chosen for the relocation of the facility is not located within any Special Area. The Site is approximately 960 feet north of the northerly shore of the Lake Como water-body, and is not located within a tidal or fluvial flood hazard area.

7:7E-3.25 Coastal High Hazard Areas

The intent of the project is to remove the pumping station from its location within a Coastal High Hazard Area, to a location not subject to coastal flooding. As a result, this subsection does not apply.

7:7E-3.26 Riparian Zones

The site chosen for the relocation is not located within a Riparian Zone.

7:7E-3.27 Wetlands and 3.28 Wetland Buffers

The Site chosen for the relocation is not located within a wetland or wetland buffer.

7:7E-3.34 Steep Slopes

Steep slopes do not exist onsite.

7:7E-3.36 – Historic & Archaeological Resources

Historic and archaeological resources include objects, structures, shipwrecks, buildings, neighborhoods, districts, and man-made or man-modified features of the landscape, seascape, including historic and prehistoric archaeological sites, which either are on or are eligible for inclusion on the New Jersey or National Register of Historic Places. While it is anticipated that no historic and/or archaeological resources exist at or near the project site, a letter has been received from the NJ State Historic Preservation office for confirmation (see Appendix A for copy). .

7:7E-3.38 – Endangered or Threatened Wildlife or Plant Species Habitats

There are no endangered or threatened wildlife or plant species habitats located onsite according to the Landscape Maps available on DEP iMap online.

7:7E-3.40 – Public open space

The subject site is not located on or near a property designated as Public Open Space.

7:7E-3.41 – Special Hazard Areas

The subject property is not known to contain any Special Hazard Areas.

7:7E-3.43 – Special Urban Areas

The Borough of Lake Como is a qualifying municipality, in accordance with the Department of Community Affairs. With this designation, the proposed development should be encouraged, as it will bring jobs to the Borough, and have some positive effect on the local economy, during the construction phase.

7:7E-3.50 – Lands and Waters subject to public trust rights

The subject property is not subject to this subsection because it is not within the Waterfront Area.

SUBCHAPTER 5 – GENERAL LAND AREAS

7:7E-5B.2 – Impervious Cover Limits and Vegetative Cover Percentages in the CAFRA Area

The subject property contains 5,640 sq. ft., or 0.1295 acres. No Special Areas are located on the lot, thus the resulting, usable property area is 0.1295 ac. The project site is within the Metropolitan Planning Area, or PA1, which allows up to 80 percent impervious coverage. Given that the lot size is 5,640 s.f, that the total area of new impervious coverage is 1900 s.f. and that there are no Special Areas onsite, the impervious coverage is 33%, which is well below the 80% maximum.

7:7E-5A.10 – Vegetative Cover Limit

Table I within NJAC 7:7E indicates that the required vegetative coverage within the Coastal Metropolitan Planning Area is 10%, whereas the proposed landscaping onsite coverage totals 1,460 s.f. or 25% of the property. The proposed plantings include 3 Lilac trees, 18 Juniper Trees, 5 Hydrangea shrubs and 20 Inkberry Holly shrubs.

SUBCHAPTER 6 – GENERAL LOCATION RULES

7:7E-6.2 – Basic Location Rule

In considering the extent to which the surrounding community is built out, the need to locate the new pumping station within close proximity to the existing station, and the need to locate the facility outside of a flood zone, no other viable alternative exists for the infrastructure.

7:7E-6.3 – Secondary Impacts

Little to no secondary impacts are anticipated from the proposed facility improvements. In terms of traffic, the facility will be less than the number of daily trips generated by a single-family dwelling. The new facility will not expand the service area beyond that which currently exists.

SUBCHAPTER 7 – USE RULES

7:7E-7.6 – Public Facility Use Rule

The facility improvements are proposed as a new public facility. As previously discussed, the pumping station is to serve as a replacement for the existing damaged infrastructure. As required by the Rules on Coastal Zone Management, the station relocation and reconstruction of the pumping station is consistent with an approved Water Quality Management Plan. While it is understood that the Rules on Coastal Zone Management promote open space and public recreation, this particular site cannot provide public access or a site for recreation because of its small size.

SUBCHAPTER 8 – RESOURCE RULES

7:7E-8.4 – Water Quality

In terms of Water Quality, the project is not considered as a Major Project under the Department's Stormwater Management Rules (as found within NJAC 7:8) in that it does not involve a land disturbance area in excess of one acre, nor does it involve more than one-quarter acre of new impervious.

7:7E-8.8 – Vegetation

Construction of the facility required the lot to be cleared, but as discussed above, three sides of the lot will have a landscaped buffer established to provide visual screening.

7:7E-8.10 – Air Quality

The proposed project will conform to all applicable State and Federal regulations, standards, and guidelines. Ozone, particle matter, sulfur dioxide, nitrogen dioxide, carbon monoxide, lead, and visibility, if any, will comply with the New Jersey's State Implementation Plan (SIP) strategies.

7:7E-8.11 – Public Trust Rights

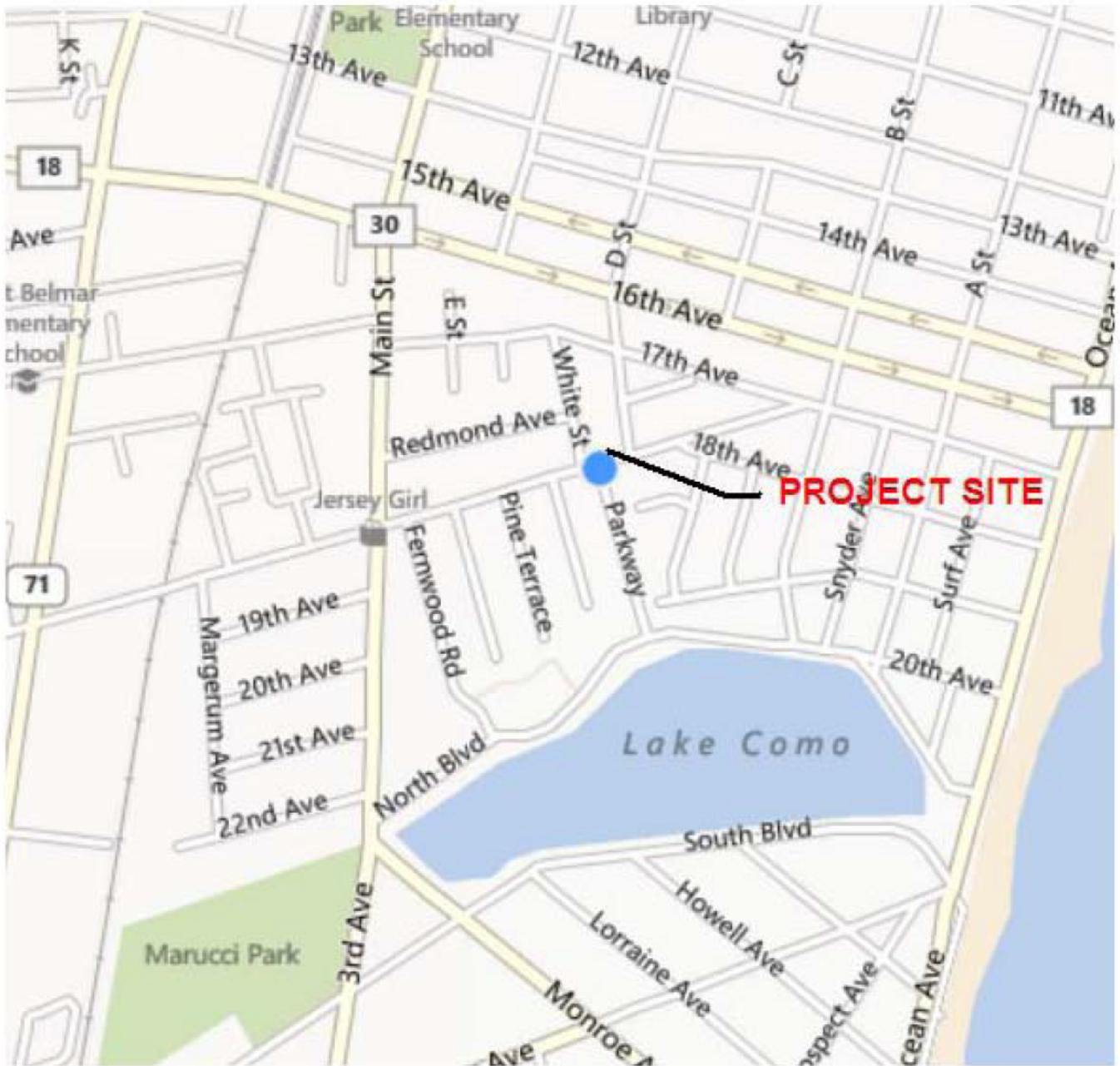
Because of the location of the facility, the requirements of the Public Trust Rights are not applicable.

7:7E-8.13 – Buffers and Compatibility of Uses.

Landscape buffering is proposed on three sides of the lot. Once completed, the building will not be visually out of character from the surrounding neighborhood.

CONCLUSION

The pumping station relocation is required to service the surrounding communities sanitary sewer service needs, as a replacement to the station damaged by Super Storm Sandy. The improvements are proposed within a pre-existing, developed area, where no special areas exist. Locating the facility in another location is not practical because of the need to construct within close proximity to the damaged station. Given these conditions, the Department should be able to readily approve this application.



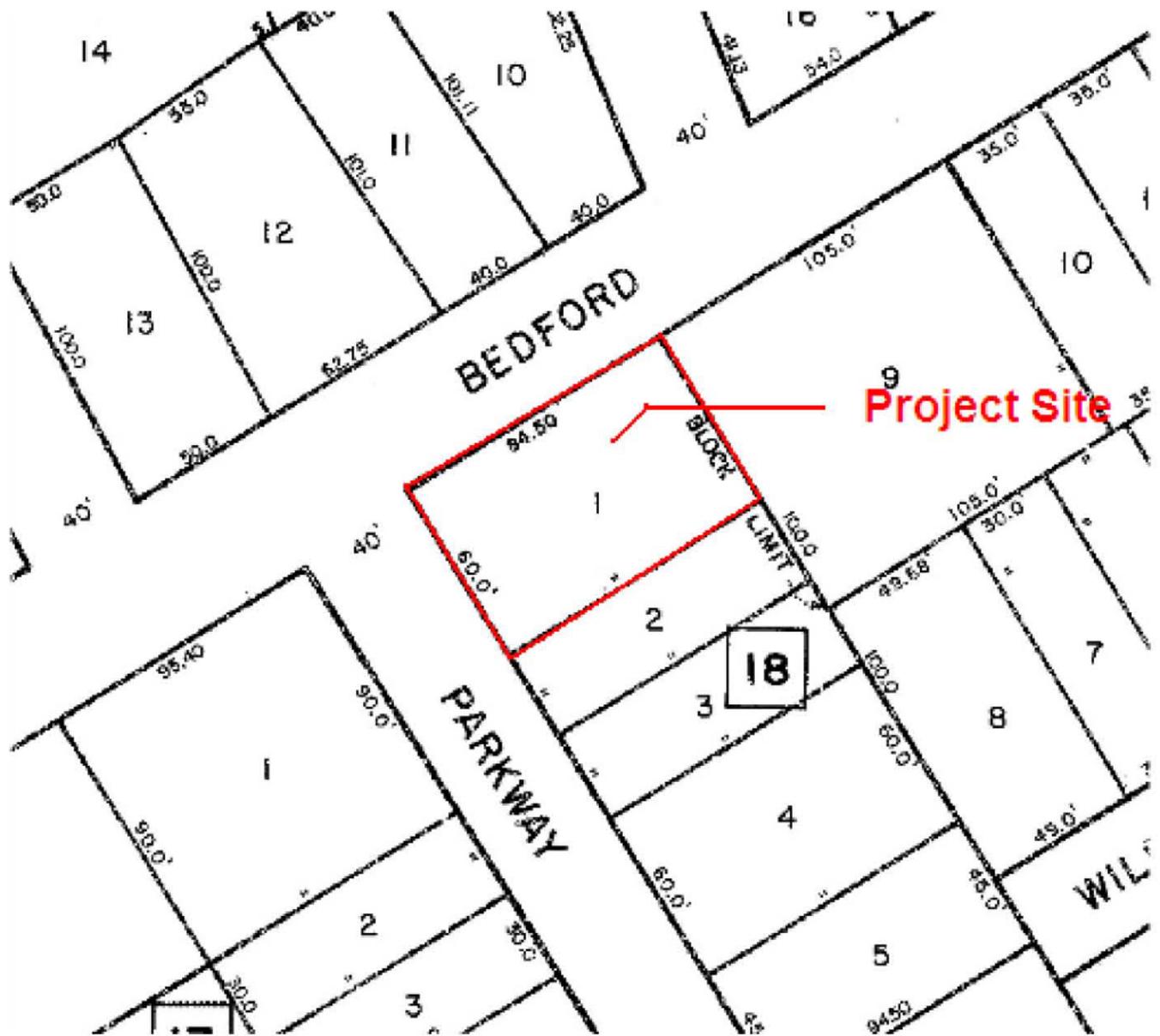
*South Monmouth Regional Sewerage Authority
Parkway Pumping Station Relocation
LOCATION MAP*

LOT 1, BLOCK 18
MUNICIPALITY: Borough of Lake Como
COUNTY: Monmouth
APPLICANT: S. Monmouth Regional Sewerage Authority
FILE NO: PSS00308.01



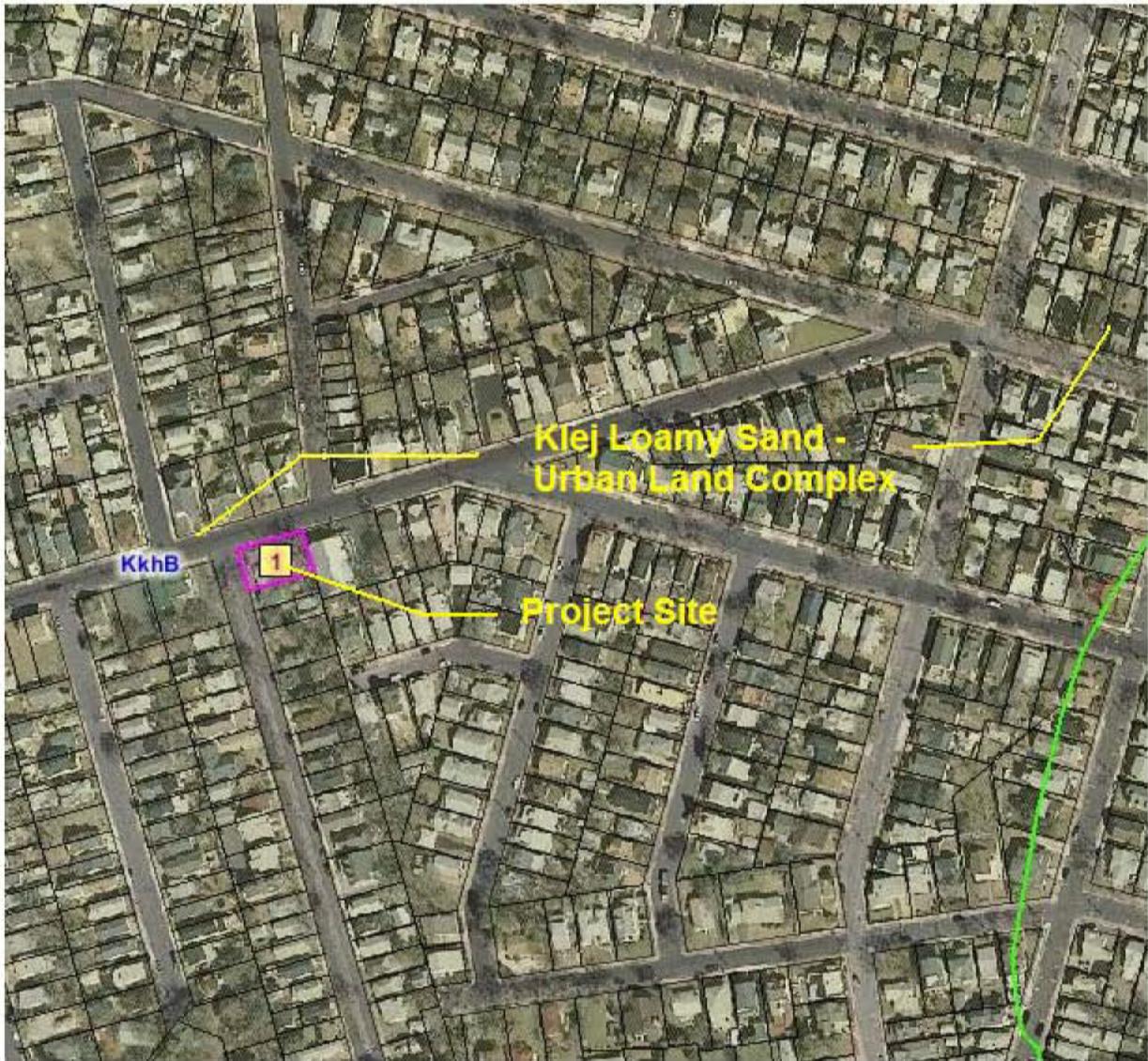
*South Monmouth Regional Sewerage Authority
Parkway Pumping Station Relocation
USGS QUAD MAP*

LOT 1, BLOCK 18
MUNICIPALITY: Borough of Lake Como
COUNTY: Monmouth
APPLICANT: S. Monmouth Regional Sewerage Authority
FILE NO: PSS00308.01



*South Monmouth Regional Sewerage Authority
Parkway Pumping Station Relocation
TAX MAP*

LOT 1, BLOCK 18
MUNICIPALITY: Borough of Lake Como
COUNTY: Monmouth
APPLICANT: S. Monmouth Regional Sewerage Authority
FILE NO: PSS00308.01



*South Monmouth Regional Sewerage Authority
Parkway Pumping Station Relocation
SOILS MAP*

LOT 1, BLOCK 18

MUNICIPALITY: Borough of Lake Como

COUNTY: Monmouth

APPLICANT: S. Monmouth Regional Sewerage Authority

FILE NO: PSS00308.01

u. &



State of New Jersey

DEPARTMENT OF ENVIRONMENTAL PROTECTION
Division of Land Use Regulation
Mail Code 501-02A
P.O. Box 420
Trenton, New Jersey 08625-0420
www.state.nj.us/dep/landuse

JUN 17 2013			
	ACT	CC	FYI
ED	✓		
OC			
FIN			
PUR			
OPER			
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CHRIS CHRISTIE
Governor

BOB MARTIN
Commissioner

KIM GUADAGNO
Lt. Governor

June 12, 2013

South Monmouth Regional Sewerage Authority
1235 18th Avenue
Belmar, NJ 07719

CERTIFIED

RE: Applicant: South Monmouth Regional Sewerage Authority
Application: CAFRA Individual Permit
File No.: 1347-13-0001.1 CAF 130002
Location: 1080 Parkway
Block 18, Lot 1
Borough of Lake Como, Monmouth County

To Whom It May Concern:

We have reviewed the above referenced application and find it deficient with regards to the point enumerated below. In accordance with the N.J.A.C. 7:7-4.4, please provide the following:

- 1) The Department did not receive proof of public notice (i.e., newspaper notice) that this CAFRA application was filed with the Department, and that a public hearing may be requested within 10 calendar days of filing the application. Since proof of the public notice was not received within this time frame, the application is automatically deficient pursuant to N.J.A.C. 7:7-4.4 for a minimum of 20 days after notice has been published, and until proof of the notice is received by the Department. The newspaper requirements and notice language can be found at N.J.A.C. 7:7-4.3(a) and (b).
- 2) Please address section 10, a copy is attached to this letter.
- 3) The pump station appears to be outside the flood hazard area (AE 11'), but in order to confirm, please provide a vertical datum note for the elevations on the plan referencing NAVD 88, or provide a conversion to said datum.
- 4) On revised plans please show the elevations on the contours provided on the plan.

Please provide the Division with five (5) copies of revised plans and the requested information demonstrating compliance with the rules within a timely manner. The deficient items need to be submitted before the application can be deemed complete for review.

If you have any questions concerning the requested information, please do not hesitate to contact me at (609) 292-0060, by email at kara.turner@dep.state.nj.us, or in writing at the above listed address.

Sincerely,

A handwritten signature in black ink, appearing to read "Kara Turner". The signature is fluid and cursive, with the first name "Kara" being more prominent than the last name "Turner".

Kara Turner
Project Review Officer

Attachment: Section 10

C: Agent (w/attachment)

to afford interested parties the opportunity to present, orally or in writing, their position concerning the filed application and any data they may have developed in reference to the environmental or other relevant effects of the proposed [facility] development. The department shall adopt rules and regulations which set forth the conditions under which a hearing is to be held. If no hearing is held, the department shall provide for a 30-day comment period and shall provide sufficient public notice as to the commencement of the comment period.

b. The commissioner, within 15 days after the hearing, if one is held, or 15 days after the close of the comment period if no hearing is held, may require an applicant to submit any additional information necessary for the complete review of the application.

c. The department shall approve, approve with conditions, or disapprove an application for a permit pursuant to P.L.1973, c.185 (C.13:19-1 et seq.) within 60 days after the hearing, if one is held, or within 60 days after the close of the comment period if no hearing is held. In the event the commissioner requires additional information as provided in subsection b. of this section, the department shall approve, approve with conditions, or disapprove an application within 90 days following receipt of the additional information.

(cf: P.L.1979, c.86, s.3)

11. Section 10 of P.L.1973, c.185 (C.13:19-10) is amended to read as follows:

10. The commissioner shall review filed applications, including [the] any environmental impact statement and all information presented at public hearings or during the comment period, or submitted during the application review period. [He shall issue a permit only if he finds] A permit may be issued pursuant to this act only upon a finding that the proposed [facility] development:

a. Conforms with all applicable air, water and radiation emission and effluent standards and all applicable water quality criteria and air quality standards.

b. Prevents air emissions and water effluents in excess of the existing dilution, assimilative, and recovery capacities of the air and water environments at the site and within the surrounding region.

c. Provides for the [handling and] collection and disposal of litter, [trash, and refuse] recyclable material and solid waste in such a manner as to minimize adverse environmental effects and the threat to the public health, safety, and welfare.

d. Would result in minimal feasible impairment of the regenerative capacity of water aquifers or other ground or surface water supplies.

e. Would cause minimal feasible interference with the natural functioning of plant, animal, fish, and human life processes at the site and within the surrounding region.

f. Is located or constructed so as to neither endanger human life or property nor otherwise impair the public health, safety, and welfare.

g. Would result in minimal practicable degradation of unique or irreplaceable land types, historical or archeological areas, and existing public scenic [and aesthetic] attributes at the site and





State of New Jersey
Division of Water Quality

Municipal Finance and Construction Element
P.O. Box 420, Mail Code 401-03D
Trenton, NJ 08625-0420
Fax: (609) 633-8165
www.state.nj.us/dep/dwq

CHRIS CHRISTIE
Governor

BOB MARTIN
Commissioner

KIM GUADAGNO
Lt. Governor

South Monmouth Regional SA
1235 18th Ave.
Belmar, NJ 07719

MAR 21 2013

Re: Treatment Works Approval No. 13-0076
1800 Parkway Pump Station
Lake Como Borough, Monmouth County

Gentlemen:

There is enclosed a Treatment Works Approval issued to you pursuant to Title 58 of the Revised Statutes of New Jersey and in consideration of your application received on 03/05/2013 signed by Michael Ruppel, Exec. Dir., and Michael McClelland, P.E.

This approval is valid for a period of two (2) years from the issuance date, unless otherwise stated in the attached approval document. This approval shall expire unless building, installing or modifying of the treatment works has begun within the initial approval period. Treatment works approvals may be extended beyond the original two year approval date, to a maximum period of five years from the original issuance date, in accordance with the terms and conditions contained in N.J.A.C. 7:14A-22.12. A time extension request must be received by the Department prior to the permit's expiration date. Time extension requests shall be submitted to the Bureau of Construction and Connection Permits (BCCP) at the address noted in the heading of this letter.

Within 30 days of completion of the treatment works approved herein, the permittee shall submit an executed Form WQM005 (Certification for Approval by Professional Engineer) to BCCP, as indicated in the Treatment Works Approval under Part II - "General Conditions for Treatment Works Approvals", Section B. Note that for indirect dischargers, the submitted WQM005 form must also be executed by the receiving sewage treatment plant.

If you have any questions regarding the permit, please contact Jehan Halim, Principal Engineer, of this office by calling (609) 984-4429.

Sincerely,

James Pontoriero, Supervisor
Bureau of Construction and Connection Permits

13-0076

Enclosure

cc: CME Associates
Lake Como Borough

Let's protect our earth



STATE OF NEW JERSEY
DEPARTMENT OF ENVIRONMENTAL PROTECTION
P.O. Box 402, TRENTON, NJ 08625-0402

PERMIT TO CONSTRUCT AND OPERATE* TREATMENT WORKS

**Local Agency approval required prior to operation*

The New Jersey Department of Environmental Protection grants this approval in accordance with your application, attachments accompanying same application, and applicable laws and regulation.

PERMIT NO.	ISSUANCE DATE	EXPIRATION DATE	DESIGN FLOW
13-0076	03/18/2013	03/17/2015	0 M.G.D.

NAME AND ADDRESS OF APPLICANT

SMRSA
1235 18th Ave.
Belmar NJ 07719

LOCATION OF ACTIVITY

Lake Como Borough
Monmouth County

This permit grants permission to:

Construct and operate 16 LF of 18" SDR35, 38 LF of 10" DIP force main and a pump station to replace the existing Lake Como Pump Station and to be relocated at 1800 Parkway, Lot 1, Block 18, Borough of Lake Como, Monmouth County, N.J.

According to the plans entitled:

"SOUTH MONMOUTH REGIONAL SEWERAGE AUTHORITY, WWW.SMRSA.ORG, BELMAR, NEW JERSEY, LAKE COMO PUMP STATION, MARCH 2013", sheets 1 through 8 of 8, dated 3/4/2013, unrevised, prepared by CME Associates Consulting and Municipal Engineers.

and according to the specifications entitled:

"SOUTH MONMOUTH REGIONAL SEWERAGE AUTHORITY WWW.SMRSA.ORG, BELMAR, NEW JERSEY, LAKE COMO PUMP STATION, MARCH 2013, TREATMENT WORKS APPROVAL PERMIT APPLICATION, TECHNICAL SPECIFICATIONS AND ENGINEER'S DESIGN REPORT", prepared by Michael J. McClelland, PE, CME Associates Consulting and Municipal Engineers.

Permit by

Jehan Halim, Principal Engineer

Shadab Ahmad, P.E., Section Chief

APPROVED by the Department of Environmental Protection

Gautam R. Patel, Chief

Bureau of Construction and Connection Permits

This permit is also subject to special provisos and general conditions stipulated on the attached page(s) which are agreed to by the permittee upon acceptance of the permit.

PART I

PROVISOS

A. Project Specific Provisos

1. That pursuant to N.J.A.C. 7:10A-1 et. seq., an appropriate public wastewater collection system licensed operator will be required for your system.
2. That watertight manhole covers must be provided for manholes that may be subject to street flooding or located within a flood hazard area.
3. That all sewerage conveyance facilities, including the exiting Lake Como Pump Station, which are to be abandoned shall be emptied of wastes and either removed or abandoned in place in a manner which is acceptable to the administrative authority.
4. That no unpermitted discharge of raw sewage and/or untreated wastewater is to occur as a result of the construction approved herein.
5. That except as provided in N.J.A.C. 7:14A-22.4, any future sewer connections into the sanitary sewer system approved herein will require a treatment works approval from the N.J.D.E.P.
6. That for the purposes of design flow, the design capacity of the pump station approved herein is considered to be 1,330 gallons per minute with the largest pump out of service.
7. That this permit is being issued for zero flow due to the fact that the construction approved herein will convey and/or treat existing wastewater flows.
8. That the issuance of this treatment works approval does not exempt nor shall it be construed to exempt the applicant from obtaining a stream encroachment permit, if required pursuant to the provisions of N.J.S.A. 58:16A-50 et. seq. and the regulations adopted for implementation of the same.

B. Custom Requirement

1. It is the applicant's responsibility to obtain all Federal, State and local approvals that may be required for this project.

GENERAL CONDITIONS FOR TREATMENT WORKS APPROVALS**Section A. GENERAL CONDITIONS**

1. This permit is revocable, or subject to modification or change, at any time, when in the judgement of the Department of Environmental Protection of the State of New Jersey such revocation, modification or change shall be necessary.
2. The issuance of this permit shall not be deemed to affect in any way action by the Department of Environmental Protection of the State of New Jersey on any future application.
3. The works, facilities, and/or activities shown by plans and/or other engineering data, which are this day approved, subject to the conditions herewith established, shall be constructed and/or executed in conformity with such plans and/or engineering data and the said conditions.
4. No change in plans or specifications shall be made except with the prior written permission of the Department of Environmental Protection of the State of New Jersey.
5. The granting of this permit shall not be construed to in any way affect the title or ownership of property, and shall not make the Department of Environmental Protection or the State a party in any suit or question of property.
6. This permit does not waive the obtaining of Federal or other State or local government consent when necessary. This permit is not valid and no work shall be undertaken until such time as all other required approvals and permits have been obtained.
7. A copy of this permit shall be kept at the work site, and shall be exhibited upon request of any person.
8. No treatment unit or conveyance system may be by-passed which would result in the discharge of untreated sewage into any of the waters of the state.
9. The full responsibility for adequate design, construction and operation of the treatment works, and the full responsibility for successful collection, treatment, and discharge of pollutants shall be on the applicant.
10. The issuance of approval by the Department shall not relieve the applicant of the continuing responsibility for the successful collection, treatment, or discharge of pollutants for the continuing compliance with any applicable effluent limitations, permits, regulations, statute, or other law.
11. Review and approval is based solely upon the information contained in the application and the contents of the engineer's report as certified by the licensed professional engineer as being in compliance with the Department's Rules and Regulations.

Section B. CONSTRUCTION COMPLETION CERTIFICATION

1. Within 30 days of completion of the treatment works approved herein, the permittee shall submit two executed forms, WQM005 Certification of Approval, to the appropriate sewage treatment plant (STP) for their approval prior to operation. One executed copy approved by the receiving STP shall be forwarded to the appropriate Bureau and address noted on the cover page of this approval. Failure to submit the certification within 30 days of completion of the project may be grounds for revocation of the permit. Should partial operation be required prior to completion, approval will be under local jurisdiction.
2. In cases where the project and the receiving treatment facility are one in the same, the WQM005 Certification of Approval form must be submitted to the Bureau and address noted on the cover page of this approval within 30 days of completion of the treatment works. Failure to submit the certification within this time period may be grounds for revocation of the permit.

Section C. PERMIT EXPIRATION AND EXTENSIONS OF TIME

1. This permit shall remain in force for a period of only two years from the date of approval unless stated otherwise within the special provisos, or construction of said works has begun within the approved time frame. Interruption of construction of said works for a period of more than two years may serve as a basis for permit revocation.
2. Treatment works approvals may be extended beyond the original two year approval date, to a maximum of five years from the original issuance date, in accordance with the terms and conditions in N.J.A.C. 7:14A-22.12, unless stated otherwise within the special provisos. A time extension request must be received by the Department prior to the permit's expiration date. Requests must be submitted to the Bureau and address noted on the cover page.

Section D. ADJUDICATORY HEARING REQUESTS

1. Pursuant to N.J.A.C. 7:14A-22.24 et seq., any interested person who considers himself or herself aggrieved by this action, may, within 10 days of publication of notice of the decision in the DEP Bulletin, request a hearing by addressing a written request for such hearing to the:

Office of Legal Affairs
Attention: Adjudicatory Hearing Requests
Department of Environmental Protection
P.O. Box 420, Mail Code 401-04L
Trenton, NJ 08625-0420

Such a request should include a completed Administrative Hearing Request Checklist and Tracking form for Approvals or Denials (enclosed herein for Denials). This form is required, as DEP is the transmitting agency to the Office of Administrative Law, pursuant to N.J.A.C. 1:1-8.2.

Appendix D Correspondence

- SHPO Correspondence – March 27, 2013
- FEMA Interested Parties Letter – August 19, 2013
- FEMA Tribal Informational Letter – August 19, 2013
- Tribal Informational Letters: Sent / Delivered / Response – August 21 – 22, 2013
- Delaware Tribe of Indians Correspondence – August 23, 2013
- SHPO Correspondence – August 26, 2013
- Interested Parties Letters: Sent / Response – August 21 – October 3, 2013
- NJDEP Division of Water Quality, Municipal Finance and Construction Element Environmental Review Section Letter to Subgrantee regarding Level 1 Environmental Review for NJ Environmental Infrastructure Financing Program

concur with your finding that there are no historic properties affected within the project's area of potential effects. Consequently, pursuant to 36 CFR 800.4(d)(1), no further Section 106 consultation is required unless additional resources are discovered during project implementation pursuant to 36 CFR 800.13.



JOHN H. ALLGAIR, P.E., P.P. (1983-2001)
DAVID J. SAMUEL, P.E., P.P.
JOHN J. STEFANI, P.E., L.S., P.P.
JAY B. CORNELL, P.E., P.P.
MICHAEL J. McCLELLAND, P.E., P.P.
GREGORY R. VALES, P.E., P.P.

TIMOTHY W. GILLEN, P.E., P.P.
BRUCE M. KOCH, P.E., P.P.
BEHRAM TURAN, P.E.
TREVOR J. TAYLOR, P.E., P.P.
LOUIS J. PLOSKONKA, P.E.

D. DeSaunders
Date *3/27/13*
Deputy State Historic Preservation Officer NP

February 20, 2013

RECEIVED

FEB 25 2013

HISTORIC PRESERVATION OFFICE

Mr. Jesse West-Rosenthal
State of New Jersey
Department of Environmental Protection
Historic Preservation Office
Mail Code 501-04B
P.O. Box 420
Trenton, NJ 08625-0420

Re: Reconstruction of a Sanitary Sewage Pumping Station" for the South Monmouth Regional Sewerage Authority on Block 18, Lot 1 Borough of Lake Como, Monmouth County, NJ Our File: PSS00308.01

13-0618-1 JWR
HPO-C2013-221

Dear Mr. West-Rosenthal:

On behalf of our client, the South Monmouth Regional Sewerage Authority, we are requesting a review by the State Historic Preservation Office of the above captioned site to determine if the proposed project is located on a property listed or eligible for listing on the National Register of Historic Places. This request is being made pursuant to a condition of a compliance requirement under FEMA, for funding of the relocation and reconstruction of a sanitary sewage pumping station on the above captioned lot and block.

Enclosed please find the following for your review:

- Survey of property
- USGS Quad Sheet that depicts the project location

Should you have any questions or require additional information, please do not hesitate to contact this office.

Very truly yours,
CME Associates

Joseph A. Giddings
Joseph A. Giddings, CSE
Consulting Engineer's Office

Enclosures

cc: South Monmouth Regional Sewerage Authority

JAG:mmm





FEMA

August 19, 2013

**Re: Environmental Assessment
PW 3859 Reconstruction of a Sanitary Sewage Pumping Station for the
South Monmouth Regional Sewerage Authority
1800 Parkway and 501 North Boulevard
Borough of Lake Como, Monmouth County, New Jersey 07719
Block 18, Lot 1 and Block 21 Lot 3
GPS: 40.171499 -74.023385 and 40.169192 -74.022744**

Dear Sir/ Madam:

The Federal Emergency Management Agency (FEMA) proposes to provide grant funding to New Jersey Office of Emergency Management for the reconstruction of a sanitary sewage pumping station for the South Monmouth Regional Sewerage Authority. The facility is located at 501 North Boulevard, Lake Como and is being proposed to be reconstructed at 1800 Parkway, Lake Como, Monmouth County.

In advance of the proposed undertaking FEMA is conducting an Environmental Assessment to evaluate the potential impacts on environmental and cultural resources within the Area of Potential Effect (APE).

Parties with a demonstrated interest in archaeology and historic preservation are asked to review and provide comments regarding potential archaeological impacts associated with the project. If you are aware of any significant prehistoric/ historic archaeological resources that may be affected by the project, or have any information regarding the project area, please respond within 30 days of receipt of this letter.

Enclosed for your use is a United States Geological Survey map showing the location of the project area. If you have any concerns or information pertinent to this project, FEMA would be interested in receiving your comments in writing. Please feel free to contact Erin Leswing-Makowski, project at 609-480-1192 or via email at erin.leswing-makowski@fema.dhs.gov.

Sincerely,

A handwritten signature in blue ink that reads "Michael Audin".

Michael Audin, RPA
Historic Preservation Manager
FEMA-DR-408

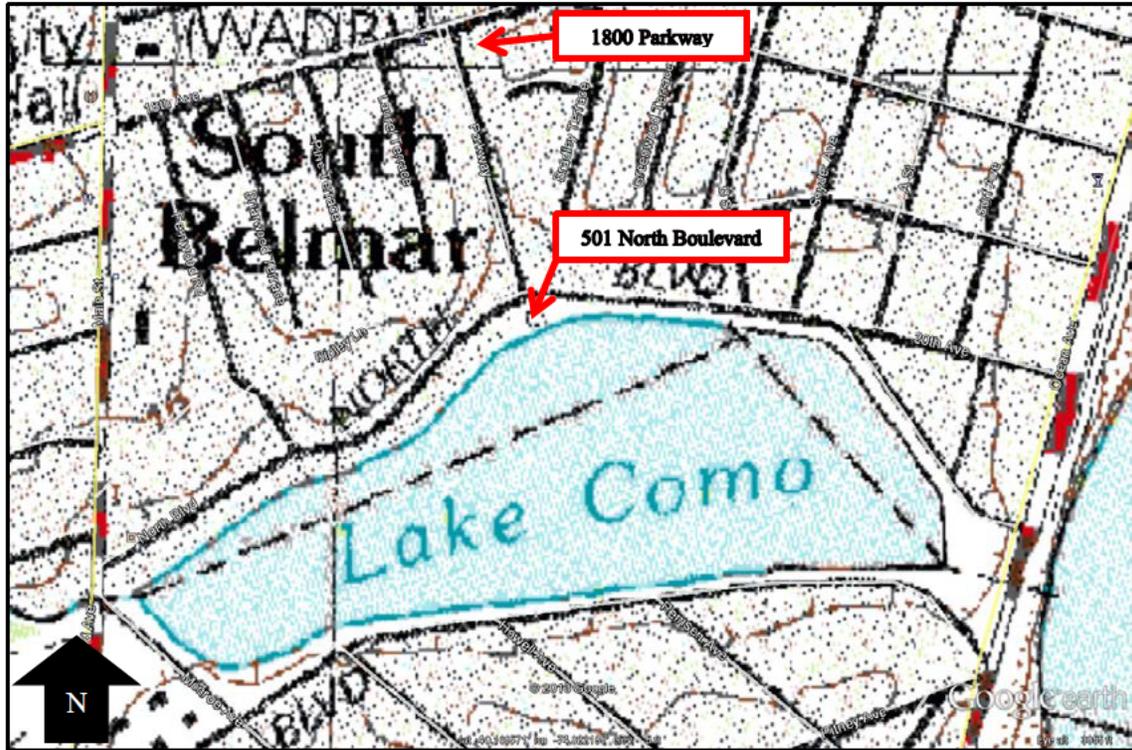


Figure 1: Project Location



FEMA

August 19, 2013

Tamara Francis Fourkiller
The Delaware Nation
Cultural Preservation Office
Po Box 825
31064 State Highway 281
Anadarko, Oklahoma 73005

**Re: Environmental Assessment
PW 3859 Reconstruction of a Sanitary Sewage Pumping Station for the
South Monmouth Regional Sewerage Authority
1800 Parkway and 501 North Boulevard
Borough of Lake Como, Monmouth County, New Jersey 07719
Block 18, Lot 1 and Block 21 Lot 3
GPS: 40.171499 -74.023385 and 40.169192 -74.022744**

Dear Ms. Francis Fourkiller:

The Federal Emergency Management Agency (FEMA) proposes to provide grant funding to the New Jersey Office of Emergency Management. The funds will be allocated to South Monmouth Regional Sewerage Authority, for the reconstruction of a sanitary sewage pumping station at an alternate location. This project will require ground disturbing activities. In accordance with Section 106 of the National Historic Preservation Act of 1966, as amended (16 U.S.C. 470f), and its implementing regulation, 36 CFR 800 as well as the Programmatic Agreement Among The Federal Emergency Management Agency, New Jersey State Historic Preservation Officer, The New Jersey State Office of Emergency Management, the Advisory Council on Historic Preservation, the Absentee Shawnee Tribe of Indians of Oklahoma, the Delaware Nation, the Delaware Tribe of Indians, the Shawnee Tribe of Oklahoma and the Stockbridge Munsee Band of Mohicans as a Result of Hurricane Sandy, we are informing your office regarding the proposed reconstruction of a sanitary sewage pumping station in Lake Como, Monmouth County, New Jersey.

Description of Undertaking: During Tropical Storm Sandy, overland flooding and tidal surge caused damage to the existing pump station facility at 501 North Boulevard (40.169192 - 74.022744). Due to repetitive flooding, and the need to provide sanitary sewer services, the Borough of Lake Como proposes to construct a new sanitary sewage pumping station at 1800 Parkway in the Borough of Lake Como (40.171499 -74.023385).

The proposed parcel at 1800 Parkway is a 0.1295 acre lot owned by the South Monmouth Regional Sewerage Authority. Commercial and residential properties border the property, which is currently being used to house the temporary diesel pumps that were relocated out of the

floodplain. The proposed pump station includes a maximum of 0.13 acres of ground disturbance and will encompass approximately 780 square feet. Ground disturbance for the new pump house includes construction of a new concrete wet and dry well that extends to an approximate depth of 28 feet. The building would be a one story masonry block building with fiber cement board siding.

The Borough of Lake Como also plans to demolish the existing pump station at 501 North Boulevard. Currently, the Borough has not developed a scope of work for the proposed demolition.

Determination of Effects: There are no documented archaeological resources within a one mile area of the APE. The project location is also within one-half mile radius of one historic district and several historic properties. An SOI qualified archaeologist conducted a site visit and determined that due to the high degree of ground disturbance from the previous construction and demolition of a residence therefore potential for intact archaeological remains is low.

If you are aware of any significant prehistoric/historic archaeological resources that may be affected by this project, or have any information regarding the project area, please respond within 30 days of receipt of this letter. Please also indicate in your correspondence if there are other sources of information that should be checked, and if there are other parties, tribes, or members of the public you believe should be informed as an interested party. Please respond in writing or email to us (email address listed below). FEMA's New Jersey Joint Field Office Mailing address is:

Michael Audin, Historic Preservation Manager
Erin Leswing- Makowski, Archaeologist
US Department of Homeland Security
FEMA- Region II JFO
307 Middletown- Lincroft Rd
Lincroft, NJ 07738

We request that the enclosed information be regarded as secure information and not be released to any external parties without prior correspondence with FEMA. If you have any questions please contact Erin Leswing- Makowski, archaeologist who is working directly on the project at 609-480-1192 or via email at erin.leswing-makowski@fema.dhs.gov.

Sincerely,



Michael Audin, RPA
Historic Preservation Manager
FEMA-DR-4086

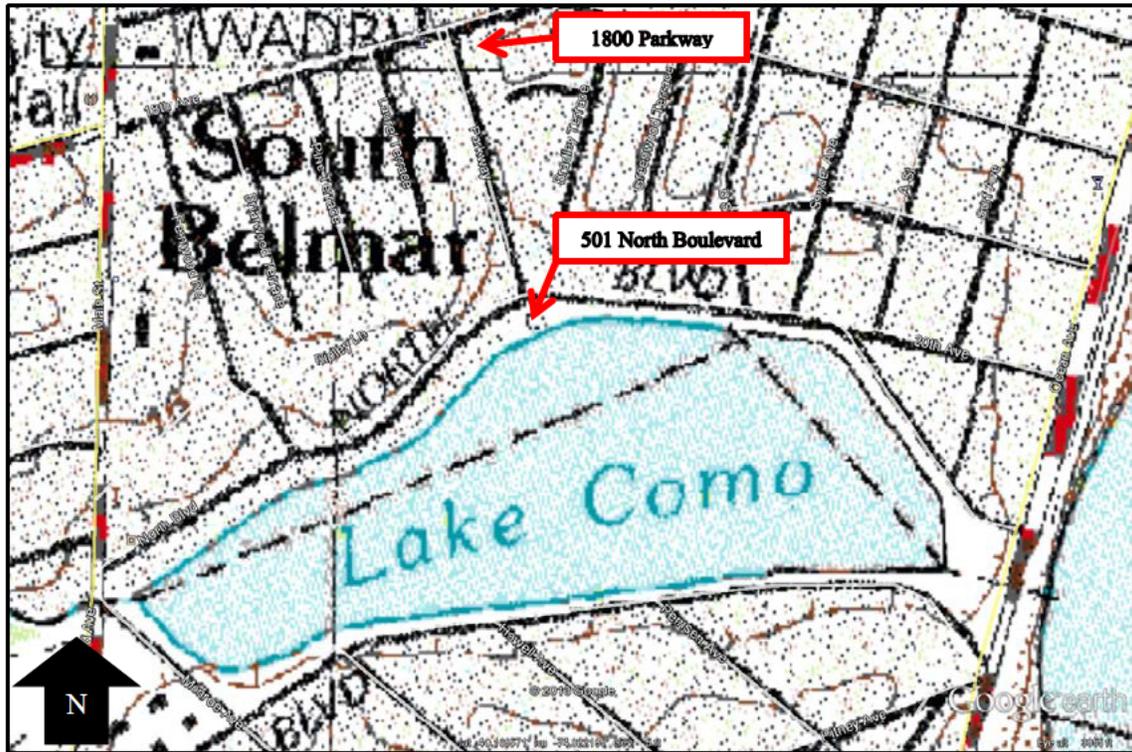


Figure 1: Project Location





Photo 2: Existing pump station at 501 North Boulevard scheduled for demolition.

Tribal Informational Letters: Sent / Delivered / Response

	<u>Tribe</u>	<u>Contact</u>	<u>Letter Sent / Delivered</u>	<u>Response</u>
1.	Delaware Tribe of Indians	Chief Joe Brooks	Delivered via UPS August 22, 2013	
2.	Delaware Tribe of Indians	Dr. Brice Obermeyer Delaware Tribe Historic Preservation Office	Delivered via UPS August 22, 2013	August 23, 2013
3.	Shawnee Tribe of Oklahoma	Ms. Kim Jumper, THPO Historic Preservation Department	Delivered via UPS August 22, 2013	
4.	Delaware Nation	Ms. Tamara Francis Fourkiller Cultural Preservation Office	Sent via USPS August 21, 2013	



Delaware Tribe Historic Preservation Office

1200 Commercial St
Roosevelt Hall, RM 212
Emporia State University
Emporia, KS 66801
(620) 341-6699

bobermeyer@delawaretribe.org

August 23, 2013

U.S. Department of Homeland Security
Attn: Michael Audin
FEMA Region II
307 Middletown Lincroft Rd
Lincroft, NJ 07738

Re: PW 3859 Reconstruction of a Sanitary Sewage Pumping Station, Monmouth Co.

Dear Michael Audin,

Thank you for informing the Delaware Tribe on the proposed construction associated with the above referenced project. Our review indicates that there are no religious or culturally significant sites in the project area. As such, we defer comment to your office as well as to the State Historic Preservation Office and/or the State Archaeologist.

We wish to continue as a consulting party on this project and look forward to receiving a copy of the cultural resources survey report if one is performed. We also ask that if any human remains are accidentally unearthed during the course of the survey and/or the construction project that you cease development immediately and inform the Delaware Tribe of Indians of the inadvertent discovery.

If you have any questions, please feel free to contact this office by phone at (620) 341-6699 or by e-mail at bobermeyer@delawaretribe.org

Sincerely,

Brice Obermeyer
Delaware Tribe Historic Preservation Office
1200 Commercial St
Roosevelt Hall, RM 212
Emporia State University
Emporia, KS 66801



FEMA

13-1763-1 JK

HPO-H2013-194

August 21, 2013

Mr. Daniel Saunders
Administrator and Deputy State Historic Preservation Officer
New Jersey Department of Environmental Protection
Historic Preservation Office
Mail-code 501-04B
P.O. Box 420
Trenton, NJ 08625-0420

**Re: Effect Determination
PW-3859 Lake Como Pump Station Repairs
Reconstruction of a Sanitary Sewage Pumping Station for the
South Monmouth Regional Sewerage Authority
1800 Parkway and 501 North Boulevard
Borough of Lake Como, Monmouth County, New Jersey 07719
Block 18, Lot 1 and Block 21 Lot 3
GPS: 40.171499 -74.023385 and 40.169192 -74.022744**

Dear Mr. Saunders:

This letter serves as initial consultation pursuant to Section 106 of the National Historic Preservation Act for the referenced project. The purpose of the Federal Emergency Management Agency (FEMA) Public Assistance (PA) Program is to provide funding to restore damaged facilities to their pre-disaster condition, or to a condition sufficient to perform their designated functions. Severe storms and extreme flooding associated with Tropical Storm Sandy struck the entire state of New Jersey during the incident period from October 27 through November 8, 2012. As a result, a Presidential Disaster referenced as DR-4086-PA was declared, which made PA funding available to Monmouth County.

The Undertaking

During Tropical Storm Sandy, overland flooding and tidal surge caused damage to the existing pump station facility at 501 North Boulevard (40.169192 -74.022744) (Figures 1 and 2). Due to repetitive flooding, and the need to provide sanitary sewer services, the Borough

of Lake Como proposes to construct a new sanitary sewage pumping station at 1800 Parkway in the Borough of Lake Como (Block 18 Lot 1 40.171499 -74.023385) (Figures 1 and 2).

The proposed parcel at 1800 Parkway is a 0.1295 acre lot owned by the South Monmouth Regional Sewerage Authority (Photos 1 and 2). Commercial and residential properties border the property, which is currently being used to house the temporary diesel pumps that were relocated out of the floodplain. The proposed pump station includes a maximum of 0.13 acres of ground disturbance and will encompass approximately 780 square feet (Figure 3). Ground disturbance for the new pump house includes construction of a new concrete wet and dry well that extends to an approximate depth of 28 feet (Figure 4). The building would be a one story masonry block building with fiber cement board siding.

The Borough of Lake Como also plans to demolish the existing pump station at 501North Boulevard (Photo 3). Currently, the Borough has not developed a scope of work for the proposed demolition.

Area of Potential Effect

The Area of Potential Effect (APE) consists of the properties located at 1800 Parkway (Block 18 Lot 1 40.171499 -74.023385) and 501North Boulevard (Block 21 Lot 3 40.169192 - 74.022744) in the Borough of Lake Como, Monmouth County, New Jersey.

Known Historic and Archaeological Resources

There are no documented archaeological resources within a one-mile of the APE. The results of the Monmouth County Historic Sites Inventory (1983) indicate that 28 buildings were documented within one-mile of the APE. The New York and Long Branch Railroad Historic District (SHPO Date 8/20/2004) is located approximately 2,320 feet west of the 501 North Boulevard property, and 2,320 feet west of the 1800 Parkway location. A single National Register/State Register listed property is located approximately 3,790 feet to the south of the 501 North Boulevard location at 21 Tuttle Avenue, Spring Lake. The Audenried Cottage (Normandy Inn) was listed on the State Register on 1/14/1991 and the National Register on 3/8/1991. None of the properties within one-mile of the APE will be affected by the proposed project.

Result of Identification and Evaluation

The proposed construction of the pump house at 1800 Parkway in the Borough of Lake Como does not include ground disturbance in areas of high archaeological sensitivity. Soils in this area have been modified from road construction and residential development. The U.S. Department of Agriculture's Web Soil Survey confirms that Klej Loamy Sand-Urban Complex is the most prevalent soil type in the area. The proposed construction at 1800 Parkway is not within a historic district, nor will it affect the view shed of a historic property.

13-1763-1
HPO-H2013-174

Further, the new construction will be within an area previously determined by FEMA-SHPO survey teams to contain no above ground historic properties (Figure 5). The proposed demolition of the pump house at 501 North Boulevard, which was constructed between 1970 and 1979 and exists within an area previously determined by FEMA-SHPO survey teams to contain no above ground historic properties, will not result in substantial ground disturbance if the Borough of Lake Como follows the guidelines in FEMA's Best Practices for Lower Impact Debris Removal and Demolitions. If the Borough follows these guidelines, FEMA has made a determined of **No Historic Properties Affected** as a result of this project.

We respectfully request your concurrence with this finding. If you have any questions or require any additional information, please do not hesitate to contact Robert Lore at 732-804-9269 or robert.lore@fema.dhs.gov (archaeology) or Emily Hodecker at 732-618-9533 or emily.hodecker@fema.dhs.gov (structures).

Sincerely,



Michael Audin
Historic Preservation Manager
FEMA-DR-4086

~~NJHPO CONCURRENCE~~

I concur with your finding that there are no historic properties affected within the project's area of potential effects. Consequently, pursuant to 36 CFR 800.4(d)(1), no further Section 106 consultation is required unless additional resources are discovered during project implementation pursuant to 36 CFR 800.13.



Deputy State Historic Preservation Officer

8/26/13

Date

K:\PW Review\Monmouth County\PW 03859_Lake Como Pump Station Repairs_Cat F\HISTORIC\SHPO consultation Package\With APE_PW 3859 Lake Como Monmouth County SHPO archaeological Consult .docx

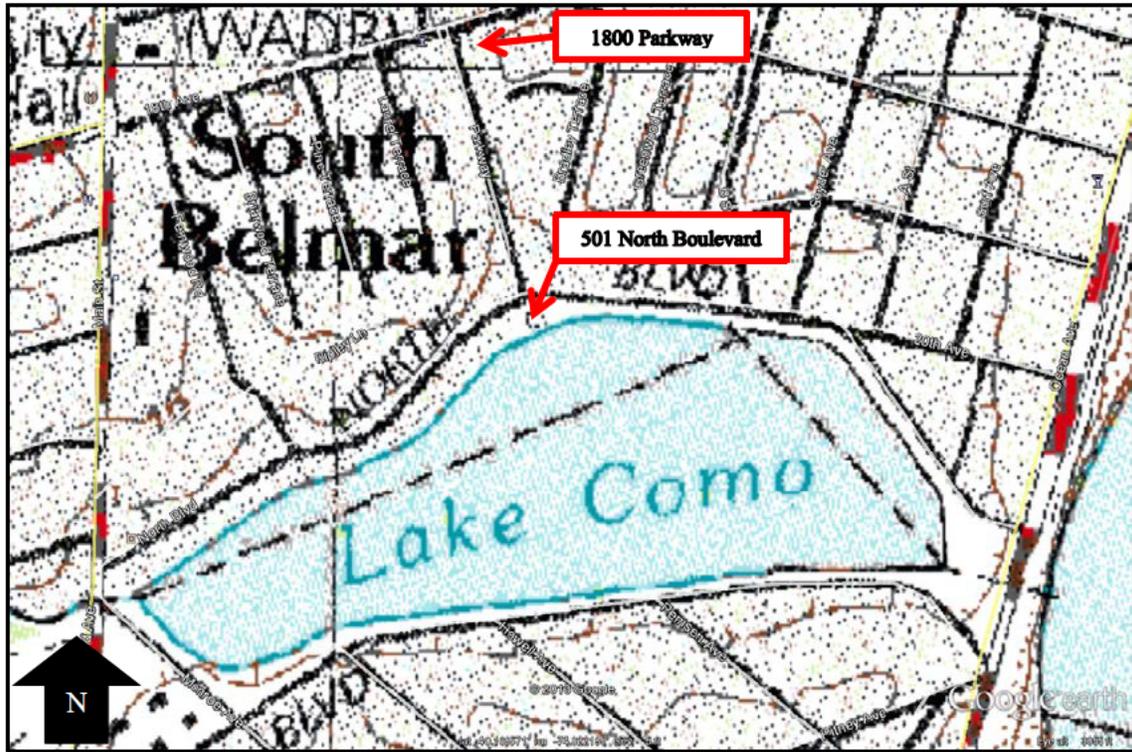


Figure 1: Project Location



Figure 2: Project Location With APE(yellow)



Photo 1: Location of proposed pumping station at 1800 Parkway.



Photo 2: Graded lot at proposed pumping station.



Photo 3: Existing pump station at 501 North Boulevard scheduled for demolition.



Figure 5: Proposed undertaking locations within the no above ground historic properties area.

Interested Parties Letters: Sent / Response

	<u>Organization</u>	<u>Date Sent</u>	<u>Response</u>
1.	Archaeological Society of New Jersey	August 21, 2013	
2.	The Monmouth County Historical Association	August 21, 2013	
3.	Preservation New Jersey	August 21, 2013	
4.	Lake Como Borough Clerk / Administrator	August 29, 2013	
5.	New Jersey Historical Society	August 29, 2013	
6.	H-Net, H-New Jersey	October 3, 2013	



State of New Jersey

DEPARTMENT OF ENVIRONMENTAL PROTECTION

CHRIS CHRISTIE
Governor

Mail Code 401-03D

BOB MARTIN
Commissioner

Division of Water Quality

KIM GUADAGNO
Lt. Governor

Municipal Finance and Construction Element
Environmental Review Section

PO Box 420

Trenton, NJ 08625-0420

Tel. (609) 292-1170

Fax (609) 633-8165

APR 29 2013

**South Monmouth Regional Sewerage Authority
Monmouth County, New Jersey
Replacement of the Lake Como Pump Station
Project No. S340377-03**

To All Interested Government Agencies and Public Groups:

The South Monmouth Regional Sewerage Authority (SMRSA) is pursuing financial assistance from the New Jersey Environmental Infrastructure Financing Program for the replacement of the Lake Como Pump Station due to age and Hurricane Sandy storm damage. The proposed pump station will be relocated on Parkway Avenue and will be constructed to serve the existing population of Lake Como Borough. The proposed replacement pump station will not increase wastewater flow capacities or result in an expansion of the service area.

The Department of Environmental Protection (Department) has reviewed the proposed action for potential environmental impacts in accordance with N.J.A.C. 7:22-10. Based on planning information submitted in support of the proposed action, the Department has determined that it qualifies for a Level 1 environmental review. The rules provide that this level applies to certain categories of actions that are expected to have little or no adverse environmental impact.

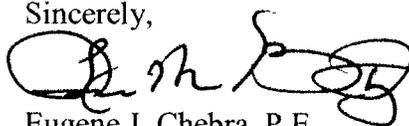
Based on the Level 1 environmental review, the Department has made a decision to approve the planning information for the proposed action. This decision is a part of the financial assistance application process, but is not a commitment of federal or state funds. An environmental summary of the proposed action, including the basis for determining that it qualifies for a Level 1 environmental review, is enclosed. The applicant is responsible for advertising this decision and for making the planning and decision documentation available for public review.

Project Cost: \$ 4,033,900

Proposed Loan: \$ 4,033,900

Comments supporting or disagreeing with this determination should be addressed to:
Steven Betz, Acting Bureau Chief, Bureau of Environmental and Engineering Reviews,
Municipal Finance and Construction Element, 3rd Floor, 401 East State Street, mail code
401-03D, P.O. Box 420, Trenton, NJ 08625-0420.

Sincerely,

 FOR EJC

Eugene J. Chebra, P.E.

Assistant Director

Municipal Finance and Construction Element

Division of Water Quality

Enclosure

Environmental Summary
South Monmouth Regional Sewerage Authority
Monmouth County, New Jersey
Replacement of the Lake Como Pump Station
Project No. S340377-03

I. Proposed Action

The South Monmouth Regional Sewerage Authority (SMRSA) operates a sewage collection system that provides service for 8 municipalities: Belmar Borough, Lake Como Borough, Spring Lake Heights Borough, Wall Township, Manasquan Borough, Brielle Borough, the Borough of Spring Lake and the Borough of Sea Girt (Figure 1). The SMRSA service area is located east of the Garden State Parkway, with the Atlantic Ocean to the east, Shark River to the north and Point Pleasant and the Manasquan River to the south. The service area encompasses approximately 24 square miles and serves 55,257 residents.

The SMRSA system consists of approximately 473,138 linear feet (LF) of sewer mains ranging in size from 6 inches to 21 inches in diameter and eleven pump stations. The individual municipalities comprising the service area are responsible for their own collection systems and conveyance to the SMRSA's wastewater pump stations.

The Lake Como Pump Station located near the intersection of North Boulevard and Parkway is a dry/wet well type station containing dry-pit type centrifugal pumps, controls, and an emergency generator. The station was constructed in the 1970's and has a pumping capacity of 1,330 gallons per minute (gpm).

The Lake Como Pump Station is adjacent to Lake Como which poses a threat of flooding. During the most recent storm event, Hurricane Sandy, flood waters from Lake Como inundated the Lake Como Pump Station which resulted in its inaccessibility and inoperability. The pump station sustained extensive damage and is currently operating through the use of bypass pumping.

To address the pump station repairs and location vulnerabilities, SMRSA purposes to construct a replacement pump station to be located at 1800 Parkway at the intersection of 18th Avenue (Figure 2). The proposed pump station will be a dry/wet well type station containing dry-pit type centrifugal pumps, controls, and an emergency generator and is designed for a pumping capacity of 1,330 gpm. The proposed replacement pump station will not increase wastewater flow capacities or result in an expansion of the service area. Electrical equipment and controls will be housed in a 40' x 15' utility building. The floor of the utility building will be located at elevation +14.00, which is 2 feet above the "Provisional Hurricane Sandy Surge Elevation" and "0.2% Advisory Base Flood Elevation" based upon the FEMA map dated December 12, 2012.

All proposed construction will occur within a SMRSA owned pre-disturbed lot that is located at 1800 Parkway at the intersection of 18th Avenue. Block 18, Lot 1 is, by survey, 60' wide by 94.5' long equaling 5,670 square feet or 0.130 acres. It is anticipated that the entire lot will be disturbed for construction of a 40' x 15' utility building to house the pump station. The utility house is designed to mimic residential architectural features. The project is located in a Coastal Area Facility Review Act regulated area. All permits shall be received prior to construction.

All disturbed areas will be restored and will be landscaped to provide screening (Figure 3). During construction, there will be some minor adverse impacts related to traffic disruption, air quality, dust, noise, and soil erosion. These impacts will be short-term and localized and will be minimized by requiring proper environmental protection measures throughout the construction period. Based on the information provided, it has been determined that the proposed project will have no significant adverse impact on the environment.

SMRSA notified residents within 200 feet of the proposed pump station construction site and conducted an informational workshop meeting on March 26, 2013 at 7:00 pm. Lake Como Borough officials and 20 residents were in attendance. To address comments related to noise, odors, building appearance, and property screening and security, SMRSA has designed the pump station building reflective of residential architecture with noise and odor considerations, and designed the landscaping to screen the pump station building.

The project is intended to serve a predominantly developed area. As the Department supports the award of financing to facilitate improvement of inadequate infrastructure in areas of the State that have already been developed, funding of the proposed project is consistent with New Jersey's smart growth objectives.

The proposed project has been reviewed for its potential to affect significant cultural resources. No significant prehistoric or historic cultural resources have been identified in the project area, and it has been determined that the proposed project will not have an adverse impact on properties listed or eligible for listing on the New Jersey and National Registers of Historic Places.

The proposed facilities will be owned and operated by the SMRSA. The median household income of the SMRSA'S customer service areas ranges from \$59,928 per year to \$98,419 per year based on the 2010 U.S. Census. The cost burden of the proposed project apportioned to the customers in all of the serviced communities will be de minimis. As the proposed user cost is considerably lower than 1.75 percent of the median annual household income, the criterion used to assess user cost affordability, it is not considered to be excessive in any of the affected communities.

II. Alternatives Considered

A. No Action

Under this alternative, the existing Lake Como Pump Station would continue to be in a state of disrepair and would remain located in a flood hazard area. Because this alternative does not meet the water quality and operational reliability needs of SMRSA's existing users, this alternative was rejected.

B. Replacement of the Pump Station at the North Boulevard and Parkway Location

Under this alternative, the existing Lake Como Pump Station would be replaced in its current location. Because this alternative would result in the pump station remaining in a flood hazard area that would not meet the water quality and operational reliability needs of SMRSA's existing users, it was rejected.

C. Replacement of the Pump Station at Parkway Avenue (Selected Plan)

This alternative, as described in the Project Description section, will ensure proper operation of the pump station, and reduce the likelihood of flooding due to its relocation on property located outside of the flood hazard zone. Because this alternative meets the water quality and operational reliability needs of the SMRSA's existing users, this alternative was selected.

III. Eligibility for Level 1 Environmental Review

A. The proposed project conforms to a category of actions eligible for a Level 1 environmental review. These categories include the rehabilitation, repair and replacement of existing environmental infrastructure facilities and the construction of ancillary facilities or minor improvements to environmental infrastructure facilities which do not create a new discharge, reduce the level of treatment, or result in an increase in the quantity of flow of an existing discharge.

B. Information regarding the proposed project leads to the conclusion that none of the criteria for disqualifying an eligible category for a Level 1 environmental review are present: 1) the project is not expected to have a permanent adverse or a significant temporary adverse effect on the human environment; 2) the project is not expected to have a permanent adverse or a significant temporary adverse direct or indirect impact on cultural resources, endangered or threatened species or designated habitats, wetlands, floodplains, important farmlands or other environmentally critical areas; 3) the residential user cost for the project will be below 1.75 percent of the median annual household income; and 4) the project is not expected to result in significant adverse public comment.

IV. Conclusion

The environmental review of this project indicates that it conforms to a category of actions eligible for a Level 1 environmental review and no disqualifying circumstances are present. Project documentation submitted in support of this project and reviewed by the Department indicates that the potential for environmental impacts will be minor. The potential for impacts will be further minimized by incorporating the standard environmental protection measures contained in the "Environmental Assessment Requirements for State Assisted Environmental Infrastructure Facilities" (N.J.A.C. 7:22-10) into the design and construction of the project.

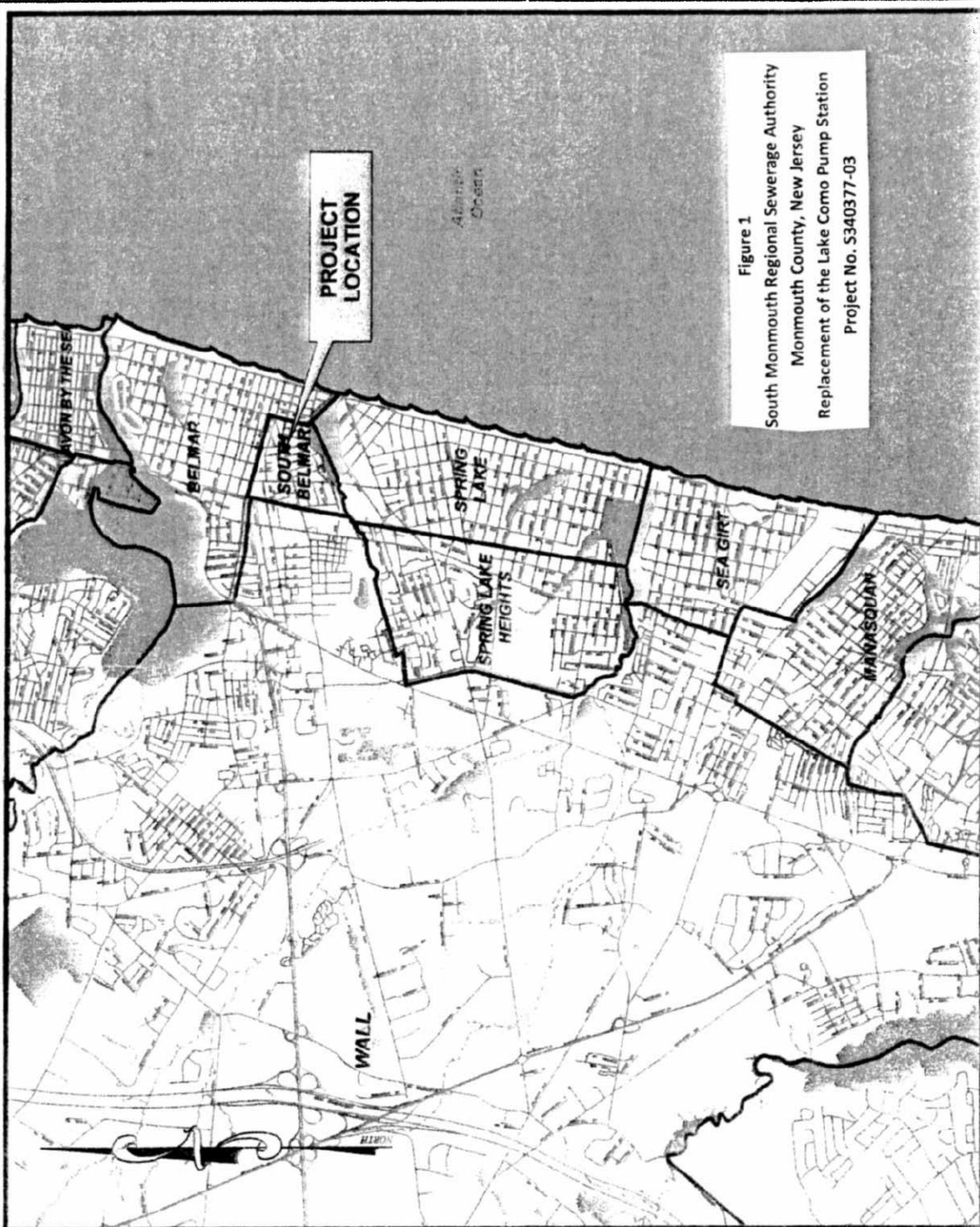
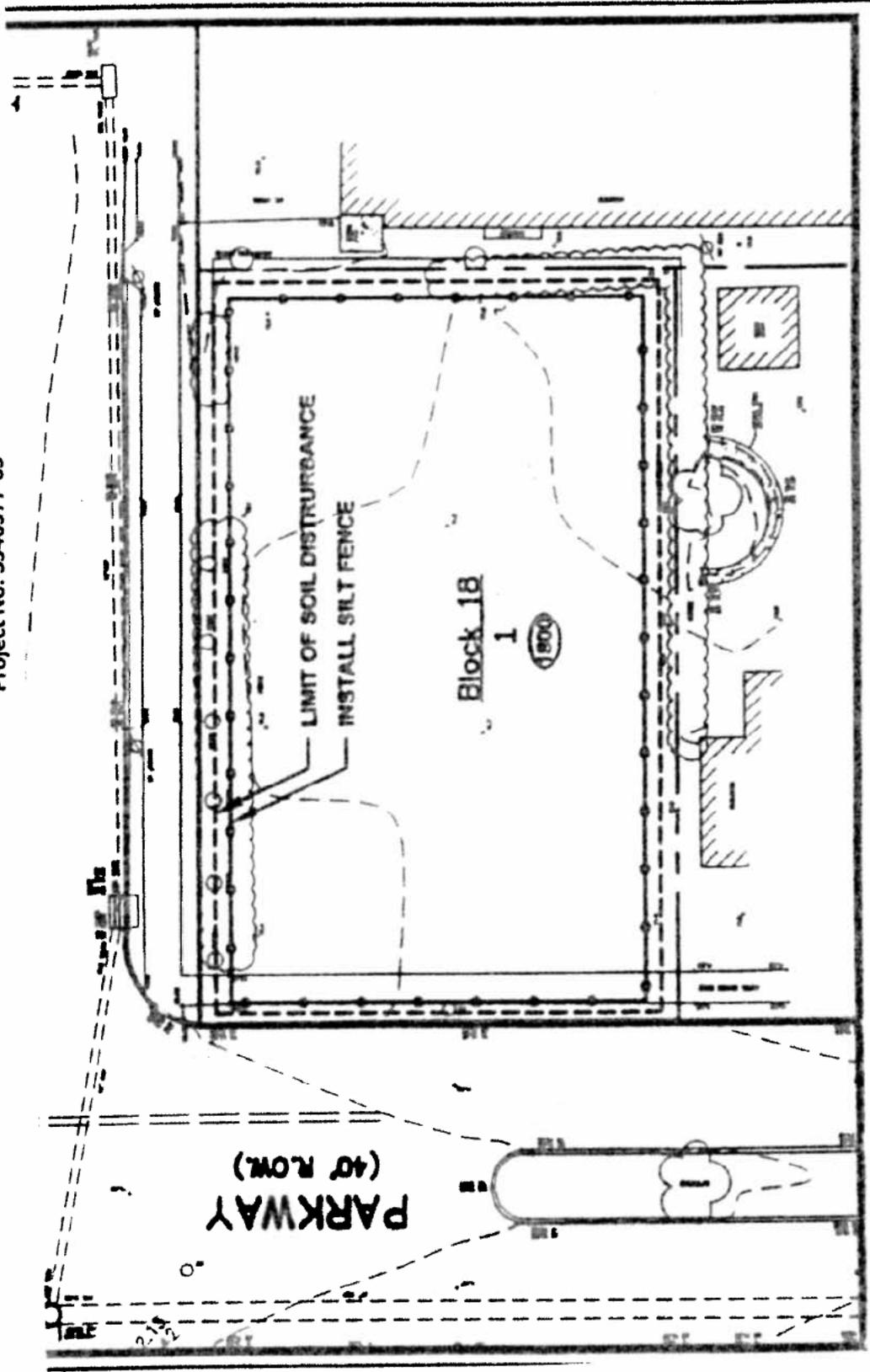


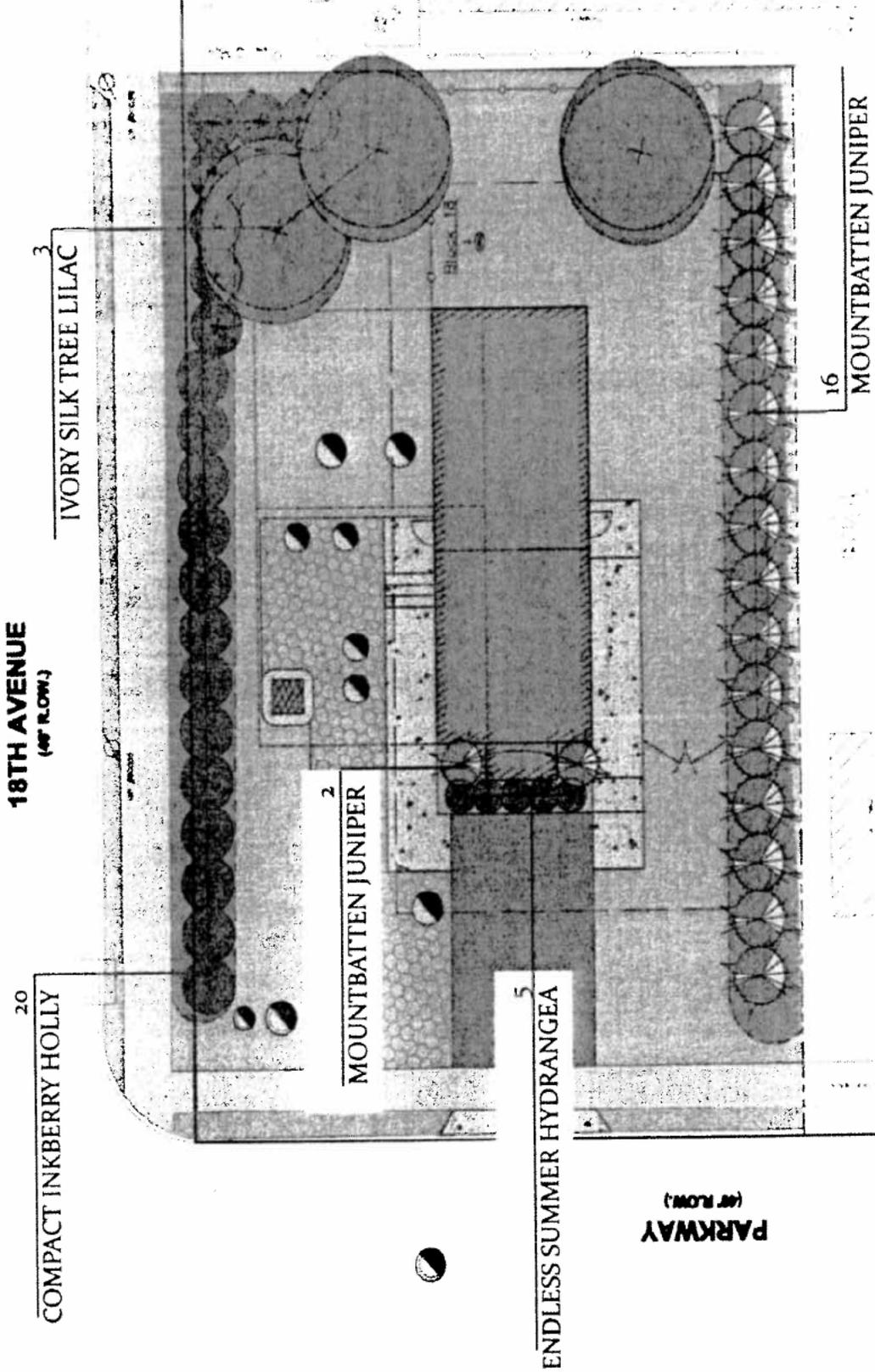
Figure 1
South Monmouth Regional Sewerage Authority
Monmouth County, New Jersey
Replacement of the Lake Como Pump Station
Project No. S340377-03

Figure 2
 South Monmouth Regional Sewerage Authority
 Monmouth County, New Jersey
 Replacement of the Lake Como Pump Station
 Project No. S340377-03



EXISTING SITE PLAN
 SCALE 1"=20'

* FREEHOLD SOIL CONSERVATION
 4000 KOTZLOSKI RD.



LANDSCAPING PLAN

Figure 3

South Monmouth Regional Sewerage Authority
 Monmouth County, New Jersey
 Replacement of the Lake Como Pump Station
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